

Lot 12, DP 6976  
LGA: CANTERBURY BANSKTOWN COUNCIL

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- General Requirements
  - Window sizes are approximate and are to be verified on site prior to fabrication.
  - All glass thickness to be suitable to current glazing code.
  - All frames to windows shall be selected powder coated aluminium.
  - All windows to comply with current wind loads.
  - All windows and doors to be complete with weather strips, trims, deadlocks and fly screens to match.
  - Do not scale window openings off drawings.
  - All steelwork to be hot dipped galvanised as specified by engineer.
- Steelwork 3 tier paint system - 2 pack epoxy system 1. waterproof / hardener; 2. primer / hardener; 3. colour / hardener.
- Expansion joints in brickwork to engineering details.
- All brick ties, lintels and structural steel to be stainless unless otherwise noted.
- All mortar and brickwork to be salt resistant.
- All DA conditions to be complied with.
- Provide falls in all areas to achieve adequate drainage required to outlets. Builder to provide topping to ensure acceptance by structural and hydraulic engineers.
- Waterproofing to all areas to be suitable for purpose. All waterproofing to be confirmed by appointed hydraulic consultant.
- All warranties and guarantees to be provided for all waterproofing.
- Painting to AS2311, builder to discuss and confirm all paint systems and applications with client prior to any work commencing.
- All glass balustrades to comply with Australian Standards, shop drawings to be provided for approval prior to any fabrication. To be confirmed by structural engineer.
- Exposed timber to be selected by builder. All timbers to be suitable for outdoor exposure.
- Sound transmission and insulation - builder to achieve BCA/NCC compliance for sound rating in accordance with relevant BCA/NCC.
- Service ducts and pipes to comply with BCA/NCC requirements. Builder to appoint an acoustic engineer to provide specialist advice for strict compliance.
- All service ducts/ries/penetrations to be fully sound and fire rated to BCA/NCC and Australian standard requirements.
- All mechanical ventilation systems to be constructed in compliance with Part 3.6.5 Ventilation of the BCA/NCC.
- Builder to provide full certificate of roofing material used and warranty of supply and installation.
- All steel lintels to be fire rated. Smoke seals in accordance with BCA/NCC and Australia standards. <Fire separation to all floor and cavities in accordance to BCA/NCC.
- "Homeguard" termite management barriers to be used to cover all aspects of termite protection to comply with AS 3660.1
- Glazing to sliding doors and areas subject to potential human impact to comply with Part 3.6 Glazing of the BCA/NCC.
- Full compliance with BASIX & Nathers requirements.
- All trades must register and obtain relevant information from "dial before you dig" <www.1100.com.au> prior to commencing works.
- Steelwork 3 tier paint system - 2 pack epoxy syste. 1. waterproof/hardner 2. primer/hardner 3. colour/hardner.

A modern, two-story house with a minimalist design. The facade features large arched windows and a central arched entrance. The house is surrounded by a low stone wall and a paved driveway. The number 19 is visible on the stone wall.



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**PROPOSED TWO STOREY DWELLING  
WITH BASEMENT**  
9 LANCELOT STREET, PUNCHBOWL NSW 2196

Drawing no 000

000



<b>Certificate Prepared by</b>
Name / Company Name: PEREZ ARCHITECTURAL SERVICES PTY LTD
ABN (if applicable):

<b>Project address</b>	
Project name	19 Lancelot_02
Street address	19 LANCELOT STREET PUNCHBOWL 2168
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP6978
Lot no.	12
Section no.	-
<b>Project type</b>	
Project type	dwelling house (detached)
No. of bedrooms	4
<b>Site details</b>	
Site area (m <sup>2</sup> )	606
Roof area (m <sup>2</sup> )	229
Conditioned floor area (m <sup>2</sup> )	350.9
Unconditioned floor area (m <sup>2</sup> )	26.6
Total area of garden and lawn (m <sup>2</sup> )	174
Roof area of the existing dwelling (m <sup>2</sup> )	0

Assessor details and thermal loads		
NatHERS assessor number	101510	
NatHERS certificate number	ZSH4PQZGL01	
Climate zone	56	
Area adjusted cooling load (MJ/ m <sup>2</sup> ·year)	14	
Area adjusted heating load (MJ/ m <sup>2</sup> ·year)	16	
Project score		
Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 72	Target 72
Materials	✓ -100	Target n/a

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCDCD plans & specs	Carifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 7000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private drain).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
<b>Swimming Pool</b>			

PROPOSED LOT 01

BASEMENT AREA	-	195 m <sup>2</sup>
CALCULATED BASEMENT	-	5.8 m <sup>2</sup>
GROUND FLOOR AREA	-	195 m <sup>2</sup>
FIRST FLOOR AREA	-	147 m <sup>2</sup>
TOTAL FSR	-	347.8 m <sup>2</sup>
BF FRONT SETBACK	7880 mm	10140 mm
GF FRONT SETBACK	7880 mm	8110 mm
FF FRONT SETBACK	7880 mm	8110 mm
BF SIDE SETBACK	1000 mm	1000 mm
GF SIDE SETBACK	1000 mm	1000 mm
FF SIDE SETBACK	1000 mm	1000 mm
BF REAR SETBACK	6000 mm	19660 mm
GF REAR SETBACK	6000 mm	31550 mm
FF REAR SETBACK	6000mm	19660 mm
PRIVATE OPEN SPACE	50 m <sup>2</sup>	100 m <sup>2</sup>

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Thermal Performance and Materials commitments	Show on DA plans	Show on CCICd plans & specs	Certifier check
<b>Simulation Method</b>			
<b>Assessor details and thermal loads</b>			
<p>The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate, the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.</p> <p>The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.</p> <p>The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.</p> <p>The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.</p> <p>The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.</p>			
<p>The applicant must show on the plans accompanying the development application for the proposed development, the locations of all ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.</p>			

Thermal Performance and Materials commitments		Show on DA plans	Show on CC/DC plans & specs	Certifier check
Construction				
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.		✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.				✓
Construction	Area - m <sup>2</sup>	Insulation		
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame.	237.2	none		
floor - suspended floor above garage, concrete - suspended; frame: no frame.	140.3	none		
garage floor - concrete slab on ground.	140.3	none		
external wall: cavity brick; frame: no frame.	all external walls	foil-foam composite board- foil/sarking		
external garage wall: concrete block/plasterboard; frame: no frame.	169.3	polystyrene		
internal wall: single skin masonry; frame: no frame.	265.64	none		
ceiling and roof - flat ceiling / flat roof, concrete - bare internal, no frame.	228.96	ceiling: foil-foam composite board; roof: none.		

- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
- BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL
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- CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR
- SUSPENDED CONCRETE SLAB FOR FIRST FLOOR
- CONCRETE ROOF

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF SHEETING AND ROOF TILES
- ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES
- SELECT FINISH TO TIMBER LOUVERS
- DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH
- SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS
- ALUMINIUM POWDER COATED GLAZING
- ALUMINIUM POWDER COATED BI-FOLD DOORS WITH SELECT GLAZING
- ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT GLAZING
- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR
- SELECT GLAZING TO BALCONY BALUSTRADE
- REINFORCED CONCRETE V COLUMN
- SELECT FINISH TO ROLLER SHUTTER DOORS
- PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS
- PROVIDE SELECT FLOOR FINISH
- RC, SLAB, FOOTINGS AND BEAMS
- REFER TO BASIS REPORT FOR THERMAL, GLAZING AND WATER COMMITMENTS
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS

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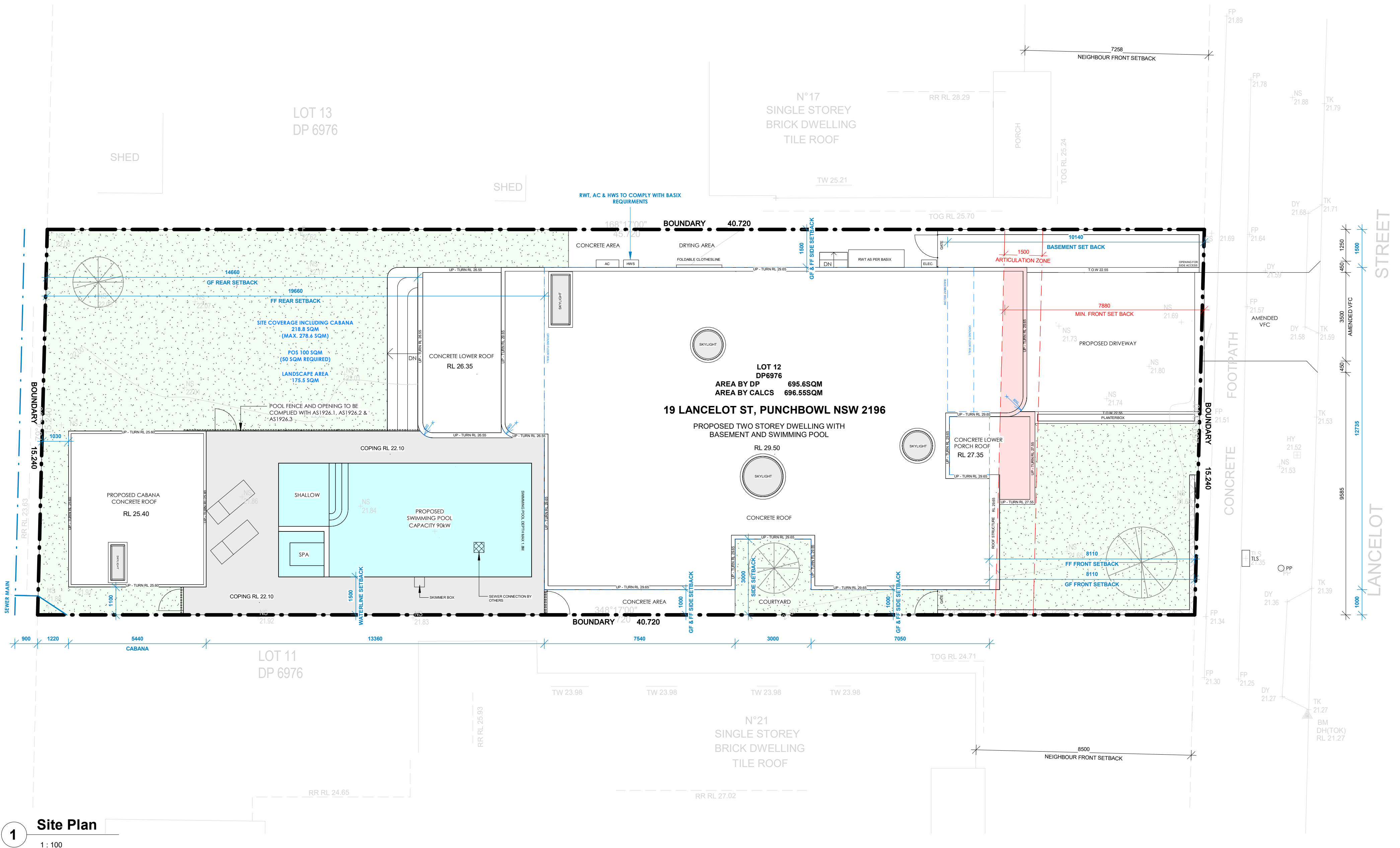
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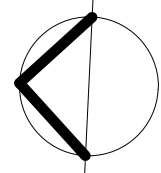




1 Site Plan  
1 : 100

- NOTES:
- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
  - BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL
  - SINGLE BRICK WALLS FOR ALL INTERIOR WALLS
  - CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR
  - SUSPENDED CONCRETE SLAB FOR FIRST FLOOR
  - CONCRETE ROOF

- NOTES:
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & AS3786:2014
  - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H4D9 AS REQUIRED BY THE BASIX CERTIFICATE
  - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
  - BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
  - WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3
  - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
  - POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.56
  - RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
  - WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2



dezcon

m. 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

Approved By A Salameh  
B.Des.Architecture | M.Architecture at UTS  
BDAA 6523

NO.	Date	Revision
A	02/04/2025	ISSUE FOR DA

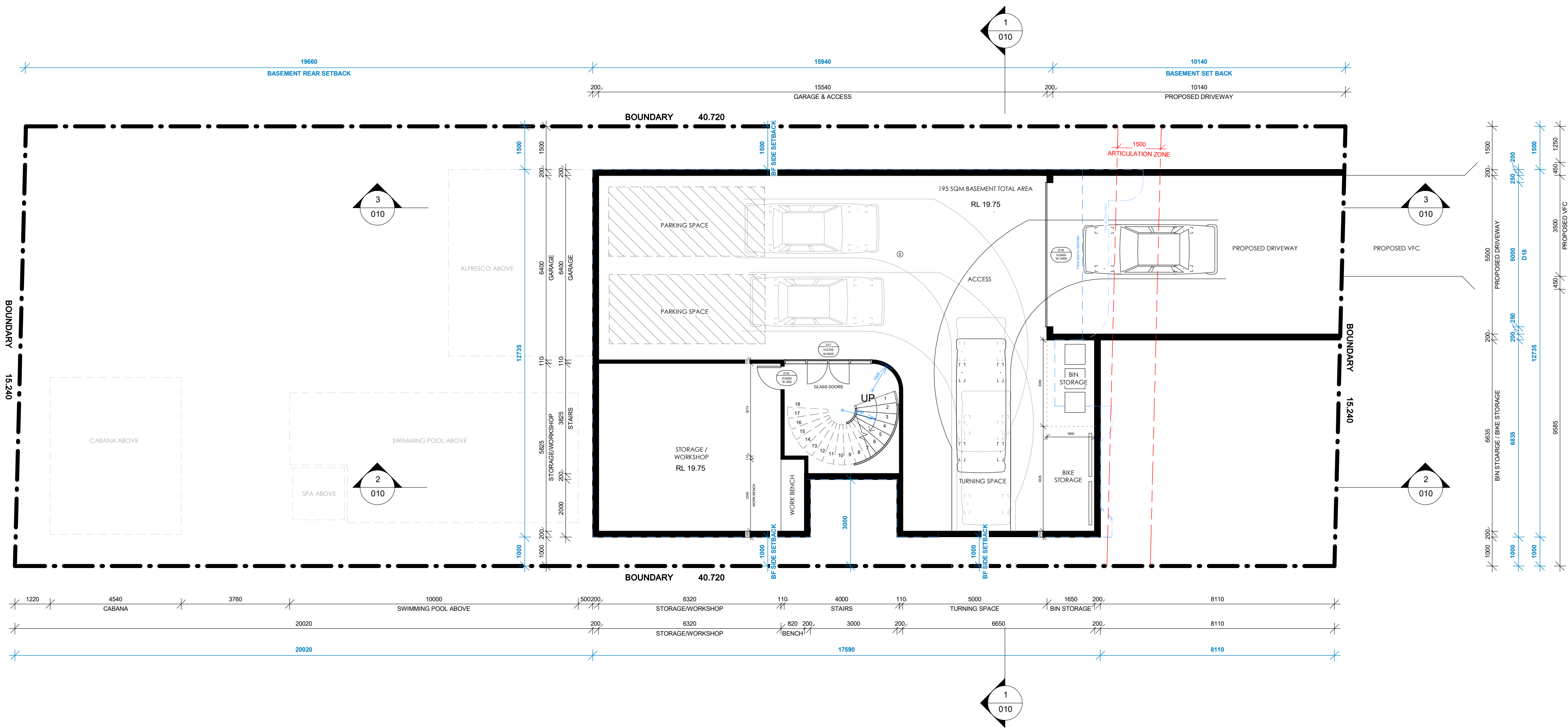
Date	02/04/2025	Project no.	40/2024
Revision no.		Checked by	
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PROPOSED TWO STOREY DWELLING  
WITH BASEMENT

19 LANCELOT STREET, PUNCHBOWL NSW 2196

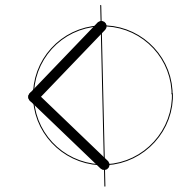
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Drawing title	SITE PLAN
Scale	1 : 100 @ A2
Drawing no	003






1 Basement Floor Plan  
1 : 100

NOTES:  
- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS  
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m. 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

Approved By A Salameh  
B.Des Architecture | M.Architecture at UTS  
BDAA 6523

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A	02/04/2025	ISSUE FOR DA

Date: 02/04/2025  
Revision no.:

Project no. 40/2024  
Checked by:

Scale: 1 : 100 @ A2

Client: ADAM SALEM

Drawing title: BASEMENT PLAN

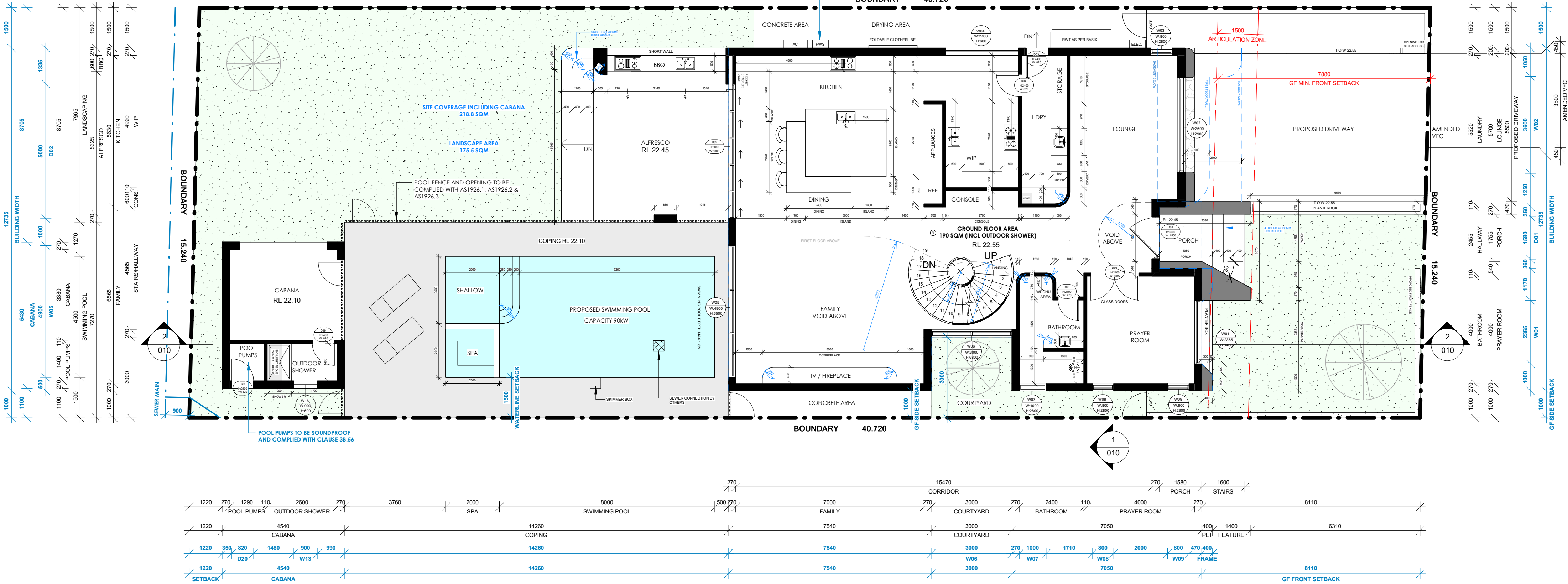
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004

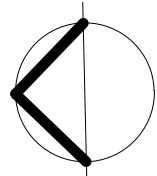




1 Ground Floor Plan  
1 : 100

NOTES:  
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- BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL  
- SINGLE BRICK WALLS FOR ALL INTERIOR WALLS  
- CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR  
- SUSPENDED CONCRETE SLAB FOR FIRST FLOOR  
- CONCRETE ROOF

NOTES:  
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & AS3786:2014  
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H4D9 AS REQUIRED BY THE BASIX CERTIFICATE  
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS  
- BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022  
- WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3  
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3  
- POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.56  
- RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE  
- WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2



dezcon

m. 0423 908 060  
info@dezcon.net.au  
www.dezcon.net.au

Approved By A Salameh  
B.Des.Architecture | M.Architecture at UTS  
BDAA 6523

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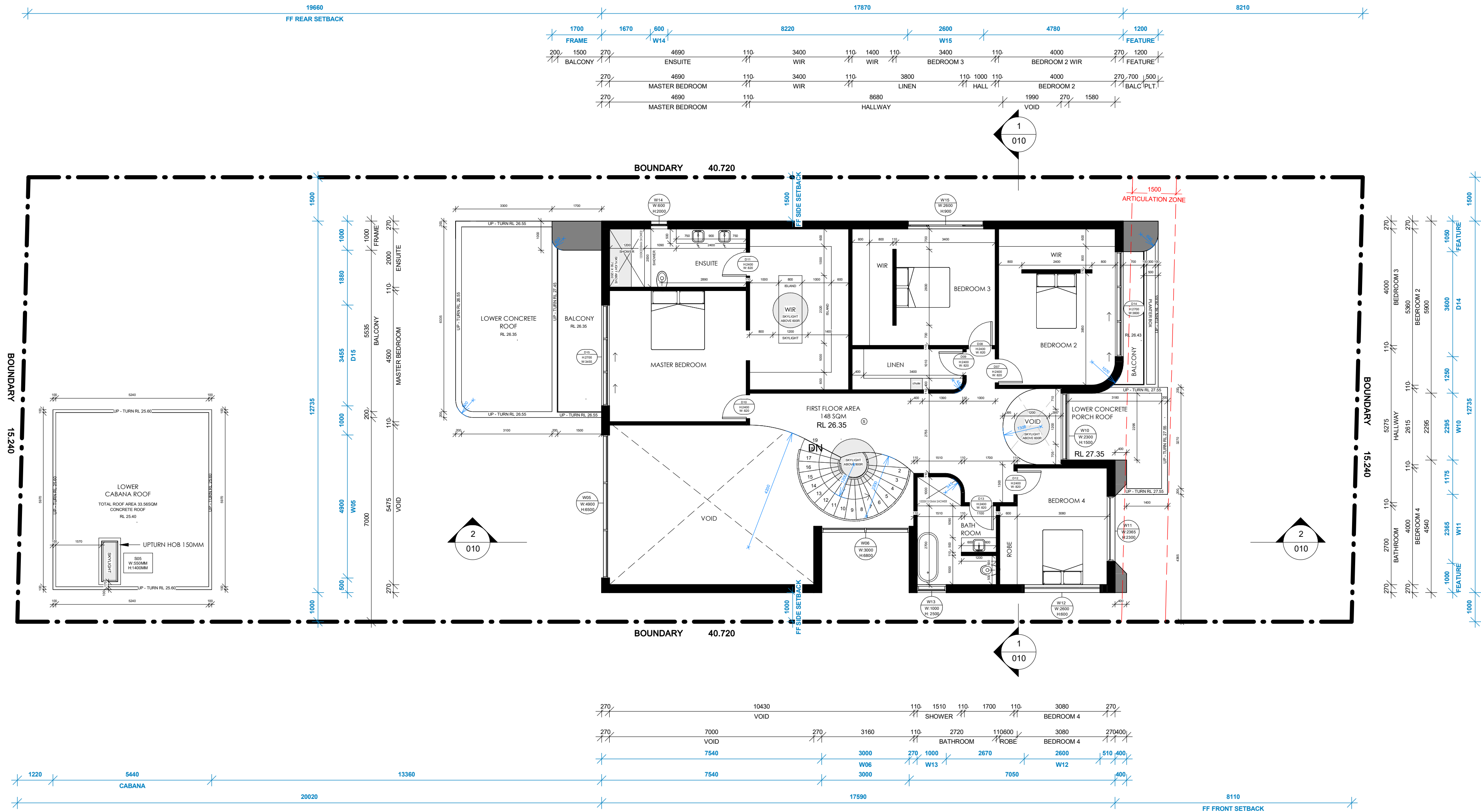
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02/04/2025	40/2024
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PROPOSED TWO STOREY DWELLING  
WITH BASEMENT

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Drawing title	GROUND FLOOR PLAN
Scale	1 : 100 @ A2
Drawing no	005

19 LANCELOT STREET, PUNCHBOWL NSW 2196



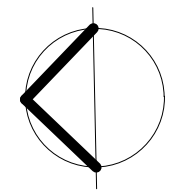


1 First Floor Plan  
1 : 100

- NOTES:
- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
  - BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL
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**dezcon**

m. 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

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02/04/2025	40/2024

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Client ADAM SALEM

Drawing title FIRST FLOOR PLAN

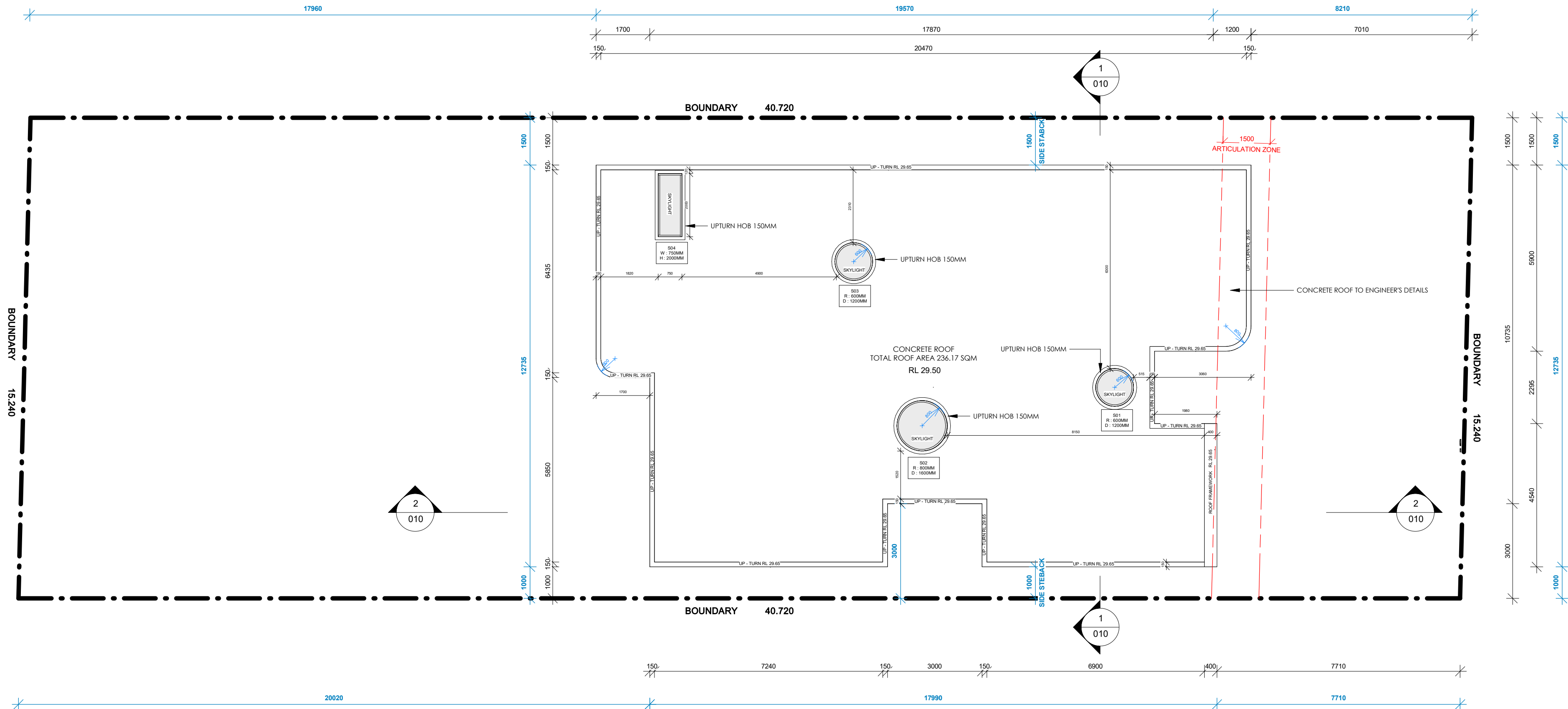
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Drawing no 006

19 LANCELOT STREET, PUNCHBOWL NSW 2196

PROPOSED TWO STOREY DWELLING WITH BASEMENT

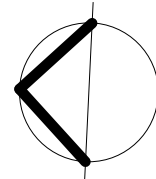




1 Roof plan  
1 : 100

- NOTES:
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  - BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL
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  - CONCRETE ROOF

- NOTES:
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dezcon

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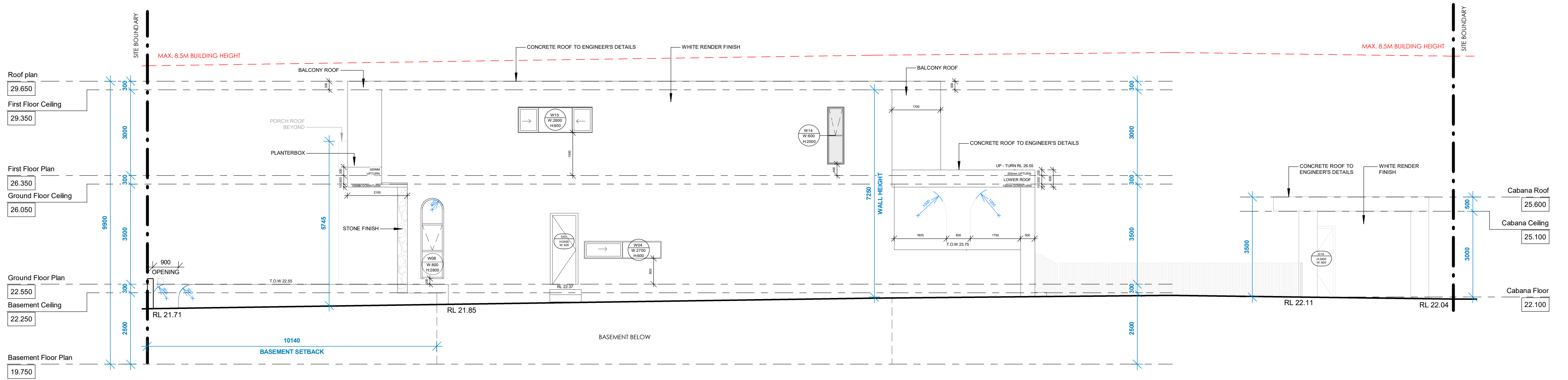
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PROPOSED TWO STOREY DWELLING  
WITH BASEMENT

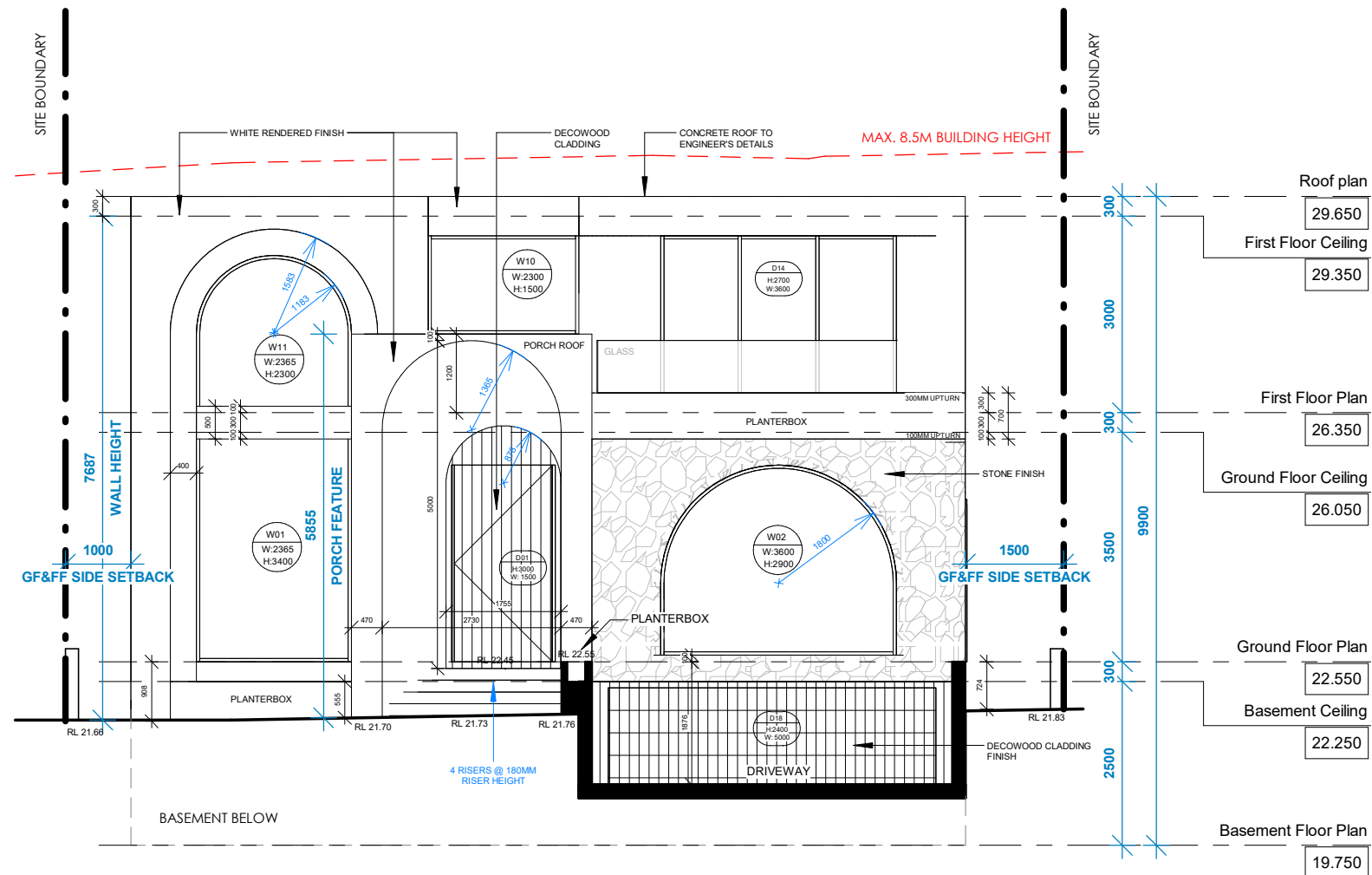
19 LANCELOT STREET, PUNCHBOWL NSW 2196

Client	ADAM SALEM
Drawing title	ROOF PLAN
Scale	1 : 100 @ A2
Drawing no	007

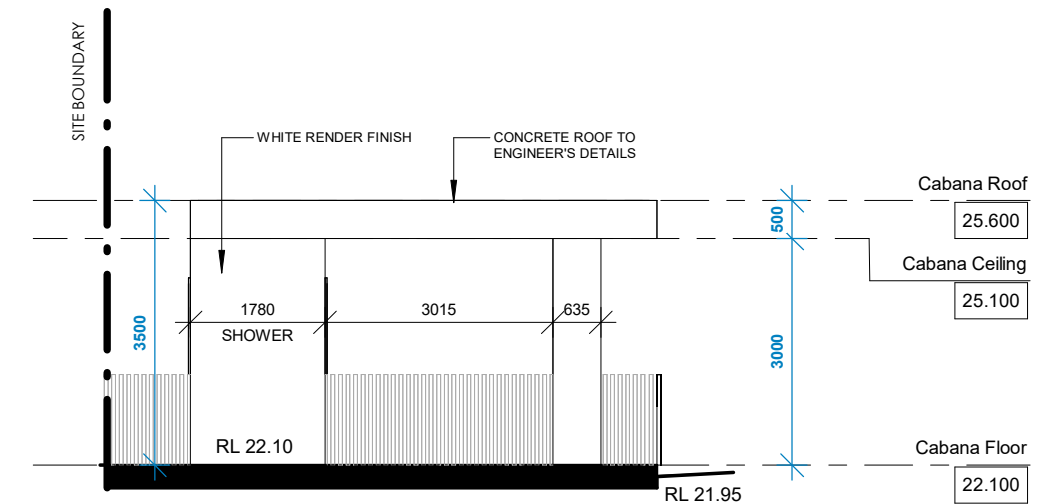




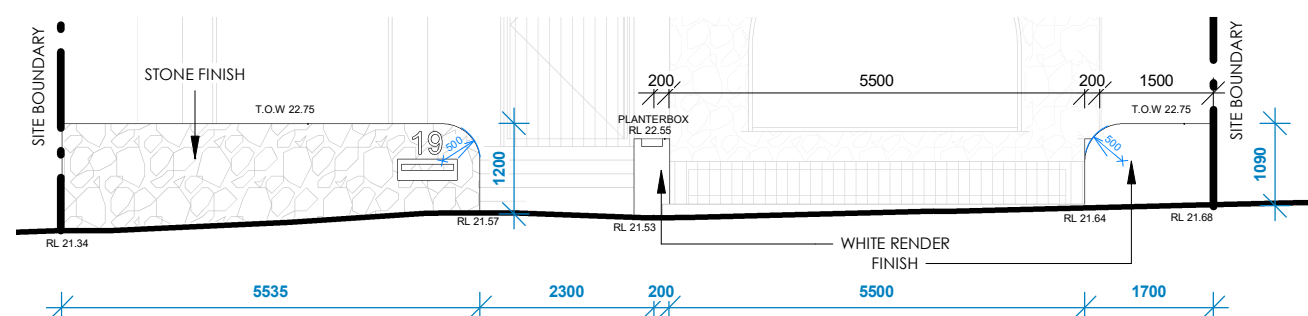
1 East Elevation  
1 : 100



2 South Facade Elevation  
1 : 100

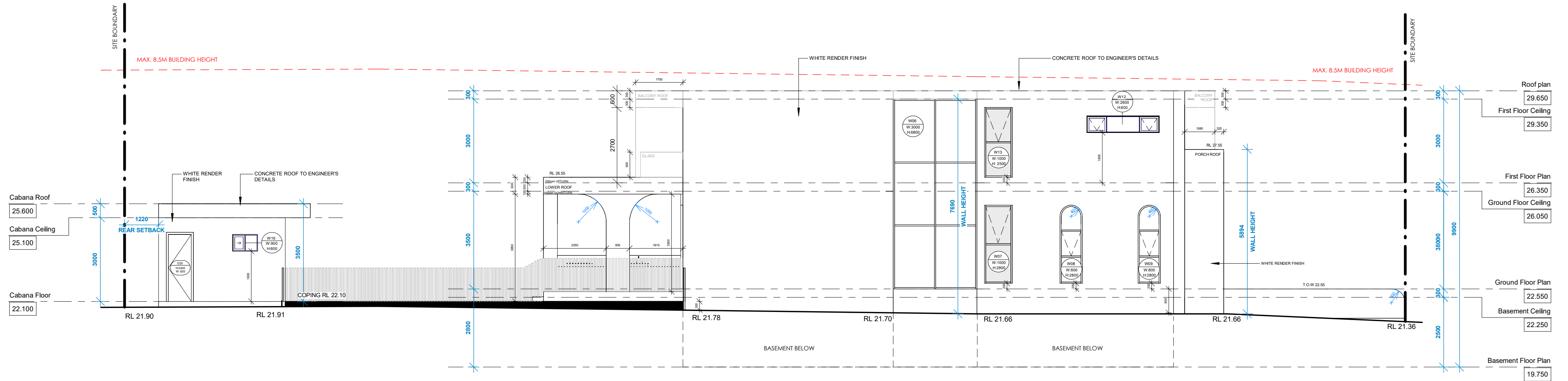


3 Cabana South Elevation  
1 : 100



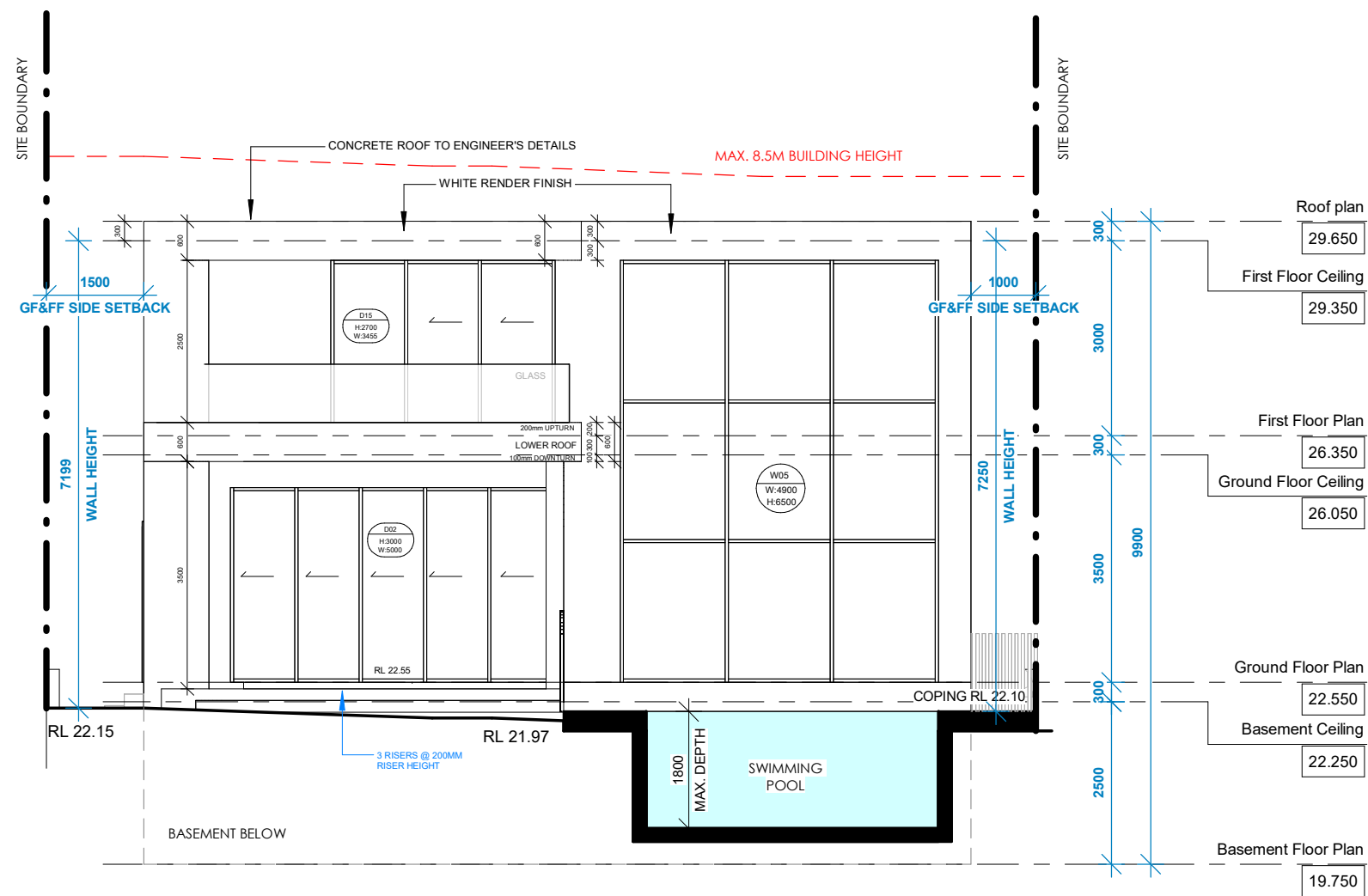
4 Front Fence Detail  
1 : 100





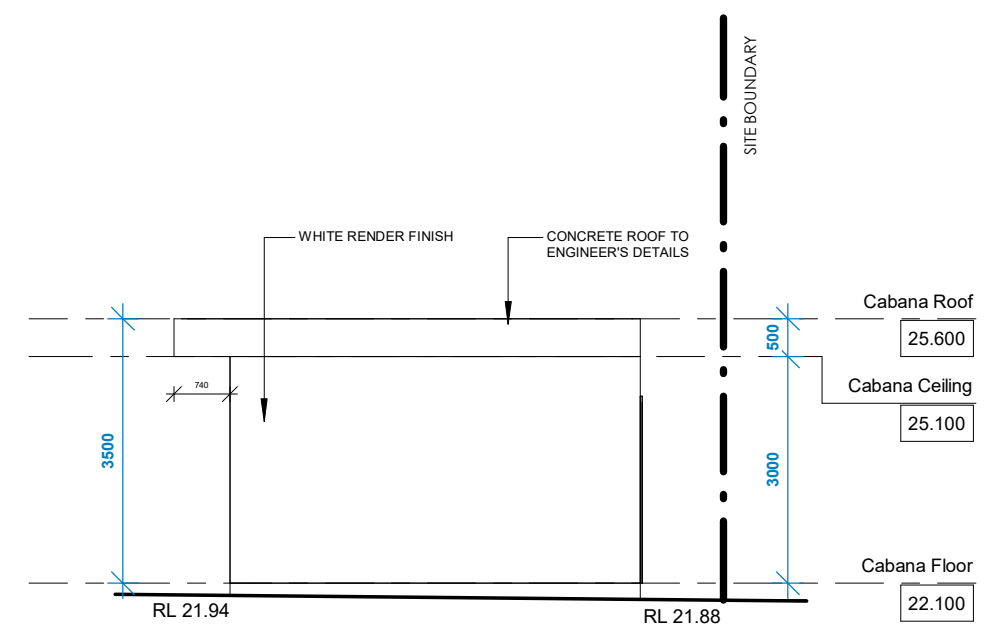
## 1 West Elevation

1 : 100



## 2 North Rear Elevation

1 : 100

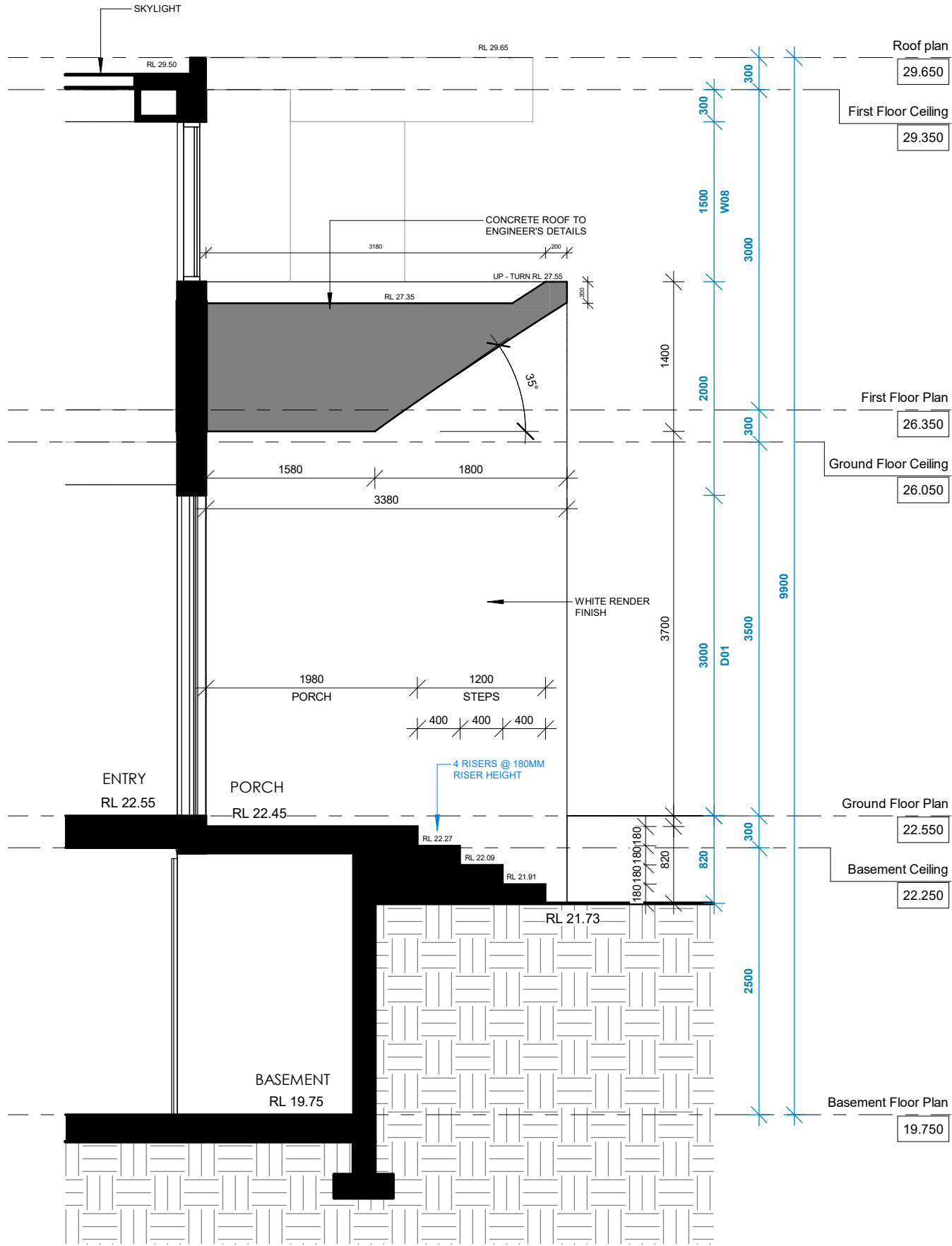


## 3 Cabana North Rear Elevation

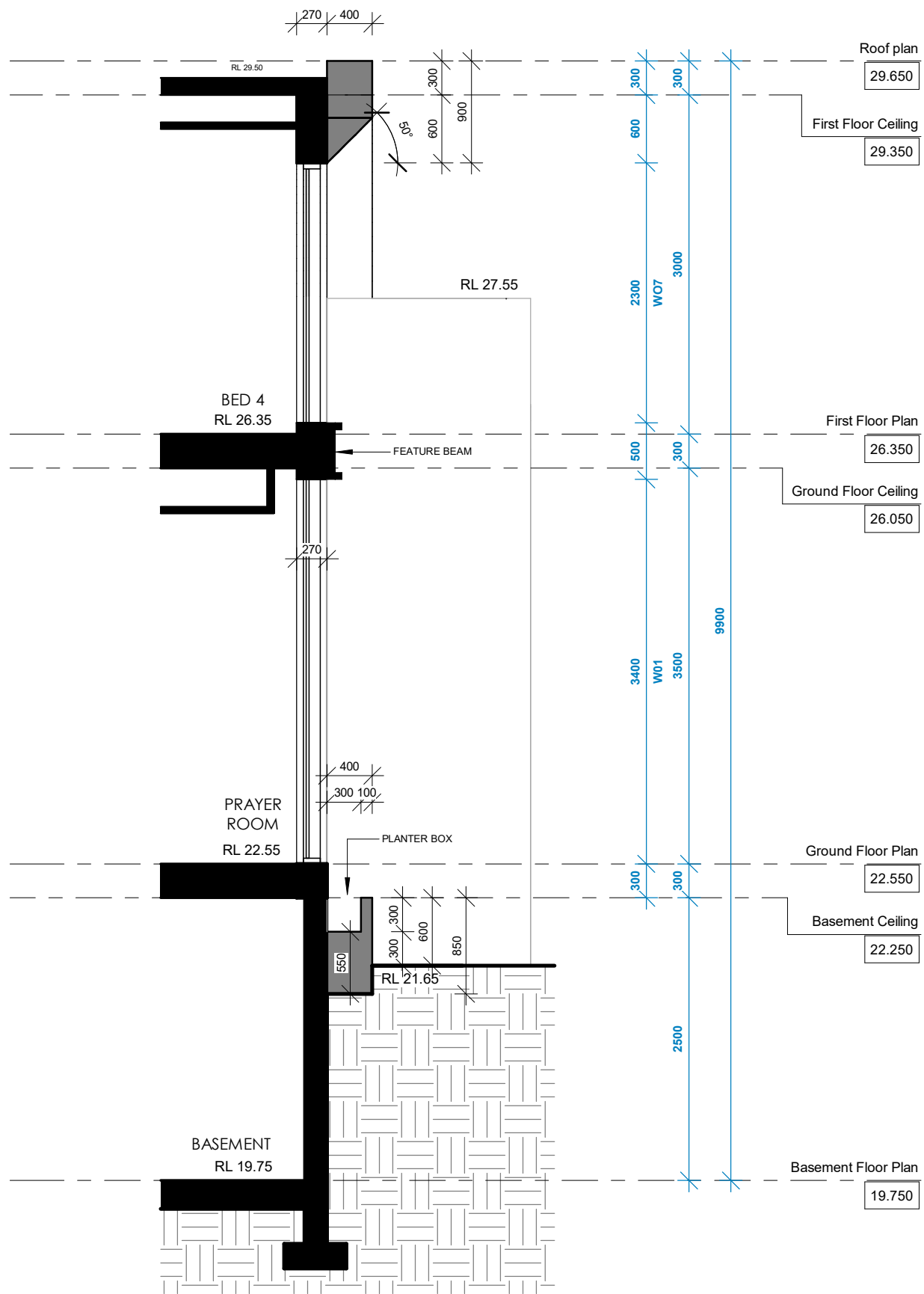
1 : 100



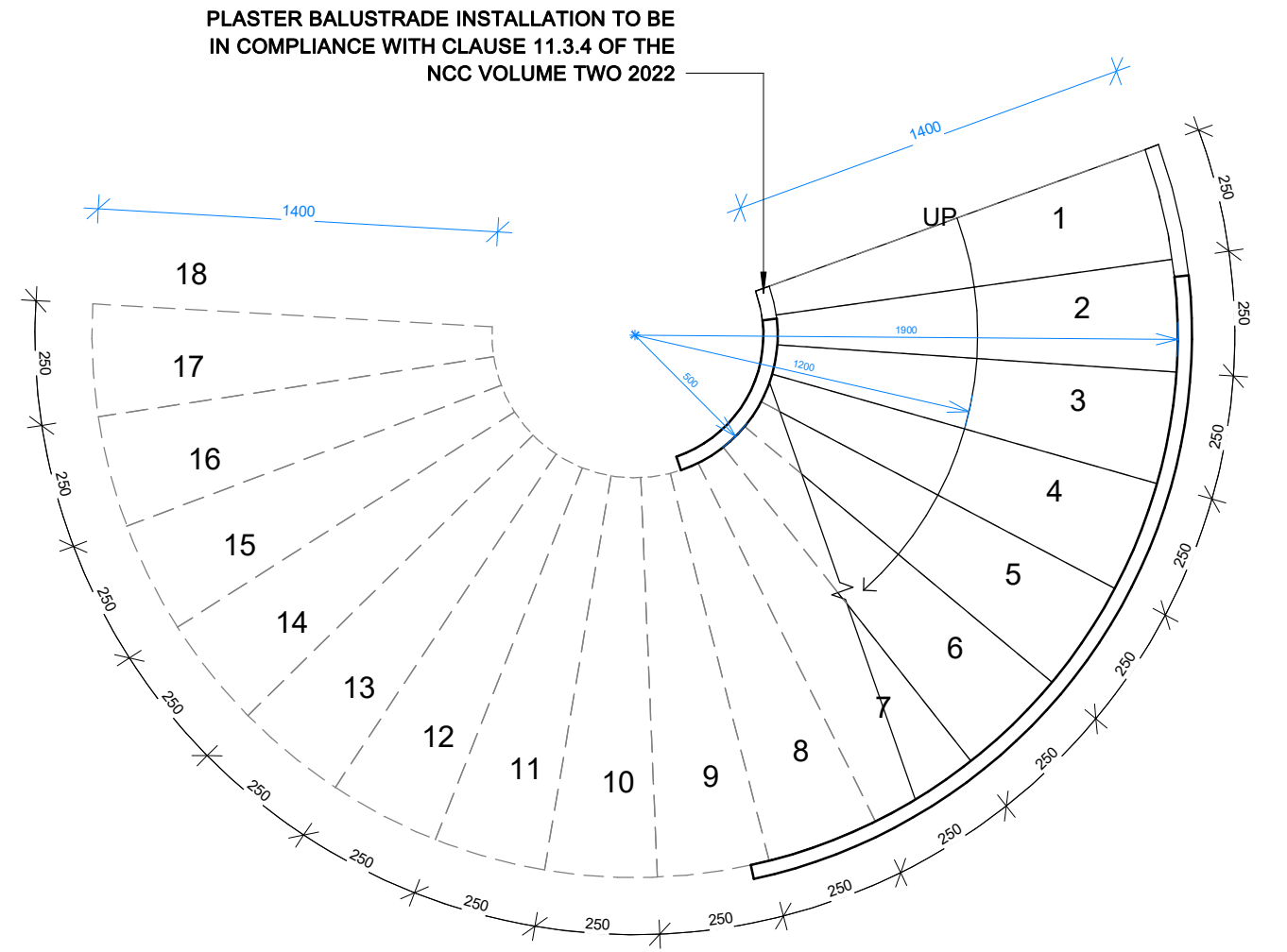




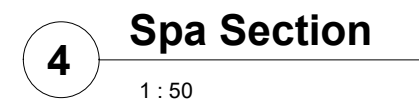
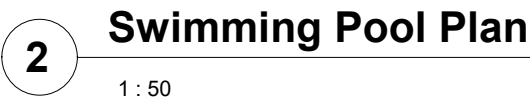
**2** Porch Section  
1 : 50



**3** Feature Frame Detail  
1 : 50





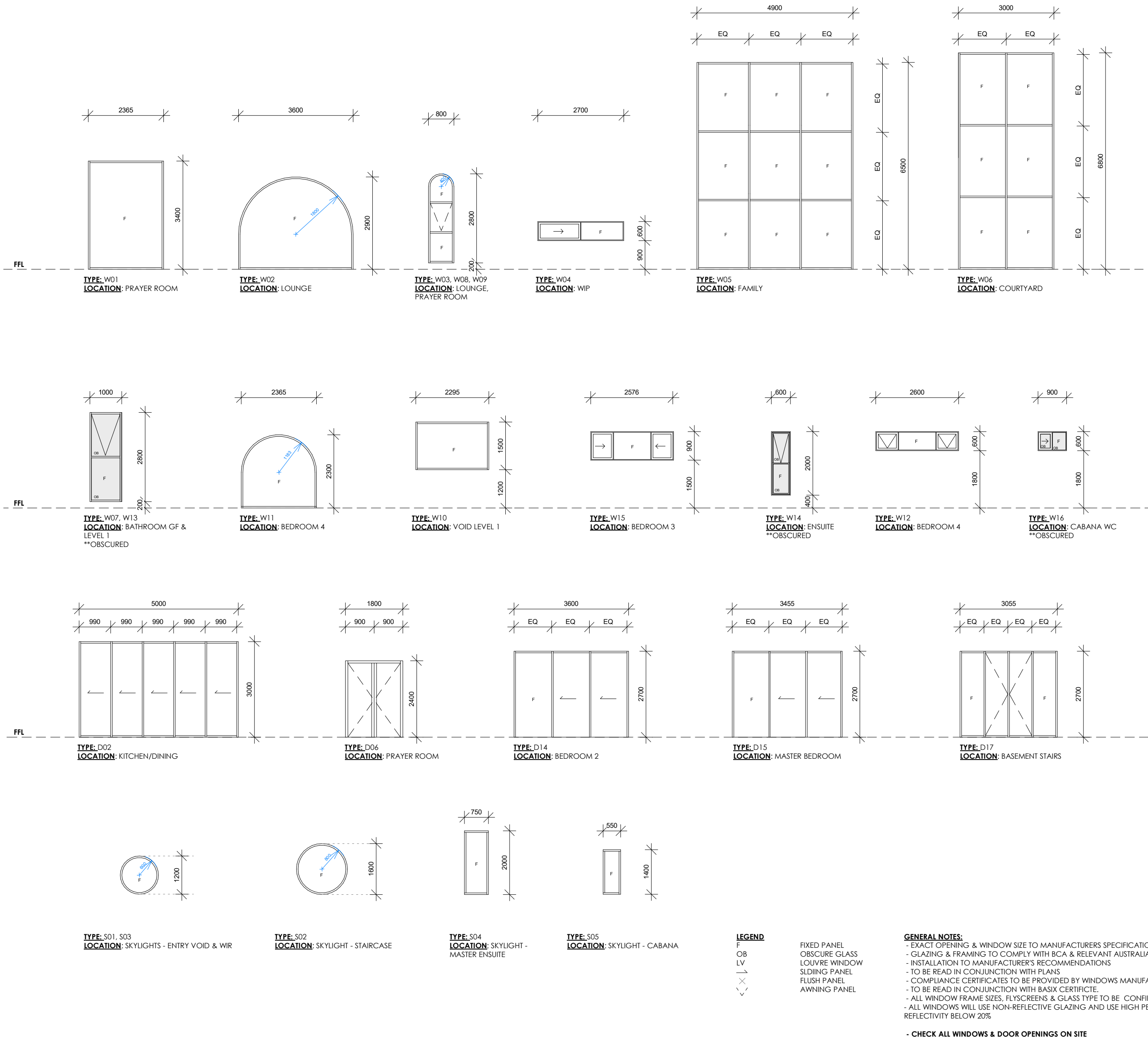


GLAZING SCHEDULE

Window Schedule					
Mark	Width	Height	Sill Height	Comments	Glazing
S01	1200	1200	0	Skylight	Clear
S02	1600	1600	0	Skylight	Clear
S03	1200	1200	0	Skylight	Clear
S04	550	1400	0	Skylight	Clear
S05	750	2000	0	Skylight	Clear
W01	2365	3400	0	Fixed Window	Clear
W02	3600	2900	100	Fixed Window	Clear
W03	800	2800	200	Awning Window	Clear
W04	2700	600	900	Sliding Window	Clear
W05	4900	6500	0	Fixed Window	Clear
W06	3000	6800	300	Fixed Window	Clear
W07	1000	2800	200	Awning Window	Obscured
W08	800	2800	200	Awning Window	Clear
W09	800	2800	200	Awning Window	Clear
W10	2295	1500	1200	Fixed Window	Clear
W11	2365	2300	0	Fixed Window	Clear
W12	2600	600	1800	Double Awning Window	Clear
W13	1000	2800	200	Awning Window	Obscured
W14	600	2000	400	Awning Window	Obscured
W15	2600	900	1500	Double Sliding Window	Clear
W16	900	600	1800	Sliding Window	Obscured

Door Schedule				
Mark	Height	Width	Description	Finish
D01	3000	1500	Pivot Entry Door	Timber Cladding
D02	3000	5000	Five Panel Stacker Door	Glazing Finish
D03	2400	820	Flush Door	Solid Timber
D04	2400	820	Flush Door	Solid Timber
D05	2400	770	Flush Door	Solid Timber
D06	2400	1800	Double Door	Glazing Finish
D07	2400	820	Flush Door	Solid Timber
D08	2400	820	Flush Door	Solid Timber
D09	2400	820	Flush Door	Solid Timber
D10	2400	820	Flush Door	Solid Timber
D11	2400	820	Flush Door	Solid Timber
D12	2400	820	Flush Door	Solid Timber
D13	2400	820	Flush Door	Solid Timber
D14	2700	3600	Three Panel Sliding Door	Glazing Finish
D15	2700	3455	Three Panel Sliding Door	Glazing Finish
D16	2400	820	Flush Door	Solid Timber
D17	2700	3055	Double Door With Sidlights	Glazing Finish
D18	2400	5000	Garage Roller Door	Timber Cladding
D19	2400	820	Flush Door	Solid Timber
D20	2400	820	Flush Door	Solid Timber

Grand total: 20





WHITE RENDERED FINISH

WHITE RENDERED FINISH

BLACK FRAME  
ALUMINIUM WINDOWS

TIMBER DECOWOOD CLADDING  
FINISH DOOR

PLANTING FOR PLANTERBOX

STONE FINISH

WHITE RENDERED FINISH

BLACK FRAME  
ALUMINIUM WINDOWS

DRAPING PLANTS FOR PLANTERBOX

STONE FINISH

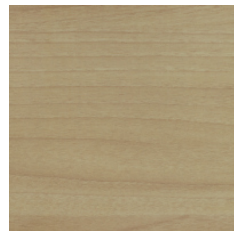
BLACK FRAME  
ALUMINIUM WINDOWS

WHITE RENDERED FINISH

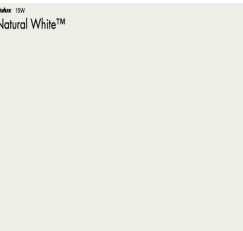
TIMBER DECOWOOD CLADDING  
FINISH FOR GARAGE DOOR

SCHEDULE OF FINISHES

SUPPLIER: DECOWOOD  
NAME: DECOWOOD  
SQUARE BATTENS: 40 x 40 MM  
COLOUR: WHITE ASH



SUPPLIER: DULUX  
NAME: NATURAL WHITE  
COLOUR: NATURAL WHITE



SUPPLIER: HAUS COLLECTIVE  
NAME: CAPRI RANDOM WALL  
CLADDING



m. 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

Approved By A Salameh  
B.Des Architecture | M.Architecture at UTS  
BDAA 6523

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Date	Project no.
02/04/2025	40/2024
Revision no.	Checked by
A	AS

**PROPOSED TWO STOREY DWELLING  
WITH BASEMENT**

19 LANCELOT STREET, PUNCHBOWL NSW 2196

Client	ADAM SALEM
Drawing title	SCHEDULE OF COLOURS AND FINISHES
Scale	1 : 100 @ A2
Drawing no	014





SIDE FACADE

FRONT FACADE



REAR FACADE

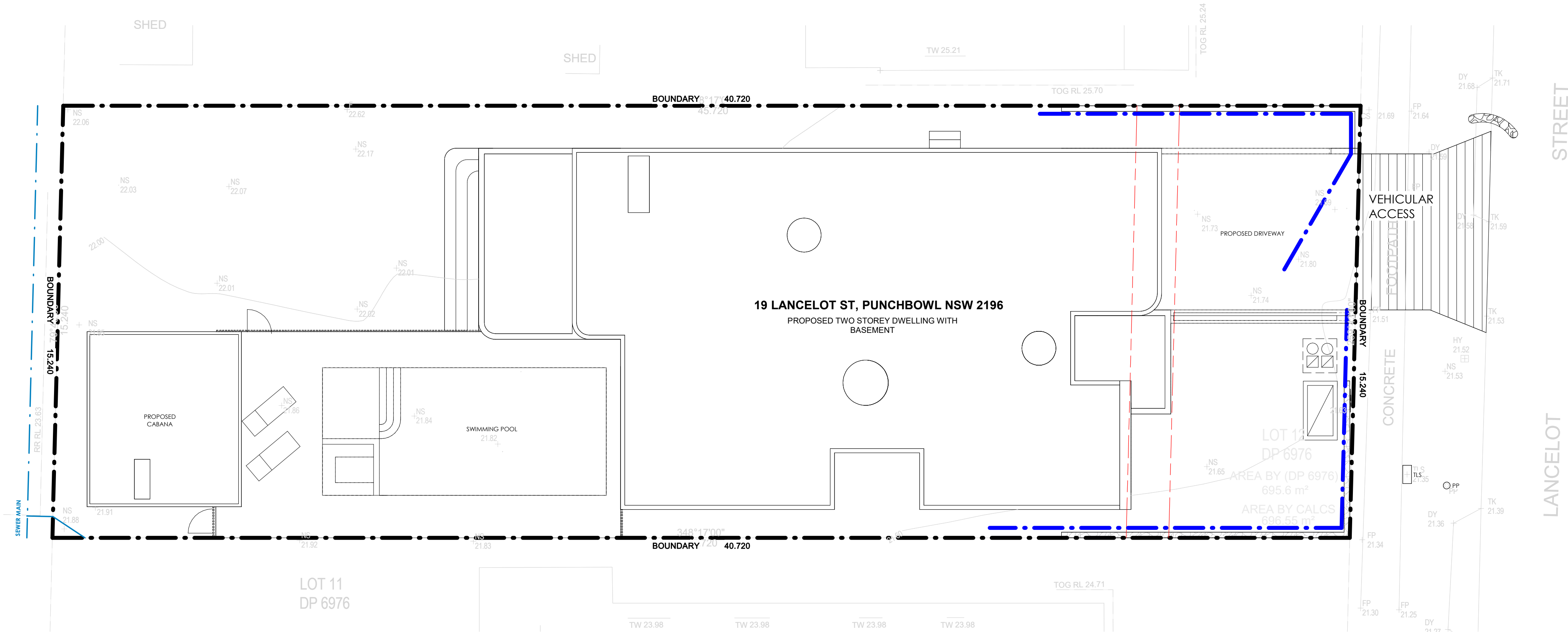


SIDE FACADE









1

Sediment Control Plan

1 : 100

The sediment controls need to be in place prior to the commencement of building works. Remember that the sediment controls will need to be altered as construction occurs and the sites drainage patterns change.

DUST MANAGEMENT

Good sediment management can alleviate most of the dust problem. Some of the steps that can be taken to minimise dust include:

- Maintain as much vegetation as possible
- Cover materials and stockpiles
- Ensure that all equipment has dust suppressors fitted
- Dampen the site slightly during excavation or when dust is being raised. Be careful not to wet it to the point of creating polluted runoff.
- Ensure that vehicles only leave via the stabilised site access
- Minimise the amount of the site that is disturbed at any one time

WASTE MANAGEMENT CONTROL

Skip bins for wastes and recycling should be covered to prevent wind blowing waste off-site but also to prevent rain water from entering and being contaminated by the wastes. Cover the skip any time the site is unattended, over night, at weekends and when it is wet or windy. Provide continuous dust protection for any chutes and conveyors used to load the skip from roof or upper storeys. If skip bins are stored in public areas, notify neighbours and Council inspectors and ask for their help in stopping illegal use.

VEGETATION CONTROL

Install the 'no go' areas by fencing off these zones. Place red tape or other bright materials around trees and plants to be kept. Ensure staff and subcontractors know not to enter. As you finish earthworks in one part of the site, revegetate it or plant temporary crops like rye to prevent erosion. Revegetation should not be expected to provide complete erosion protection for a soil that is not stable due to its structure, texture or excessive slope. Erosion control matting should be used for revegetation areas on excessive slopes to provide interim protection until the vegetation cover can be fully established.

STOCK PILES






Locate stockpile away from stormwater flow paths, roads and hazard areas - ideally at least 5m away. Place on a level area as a low, flat, elongated mound. Where there is sufficient area topsoil stockpiles shall be less than 2m in height. Construct an earth bank on the upslope side to divert run off around the stockpile and a sediment fence 1 to 2 m downslope of the stockpile or sand bag, gravel sausage. Stockpiles should be covered during windy conditions, rain or unattended site periods. Once the roof has been installed on the frame, move stockpiles inside.

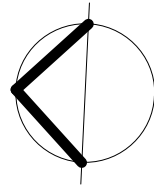
WASH BAY

The wash down area should have sediment controls around it and be large enough to hold all waste water generated. It could be clearly signposted to alert subcontractors and staff of their responsibilities. Minimise the amount of waste water generated by:

- Sweeping excess dirt and mud off equipment prior to washing.
- With Paint wastes- Spin the rollers and brushes to remove excess paint and return as much as possible to the original container for reuse. For water based paints- wash brushes in small amounts of water over newspaper. This will let the water soak through into the ground and keep the paint residue on the paper. The paper can then be placed in a solid waste bin or taken to a licensed solid waste transfer station. It is illegal to let paint and other liquid wastes contaminate the soil.
- For oil based paints- wash equipment in a series of solvent baths until clean. The solvent can be reused until it becomes saturated with paint. Solvent should be stored in air tight tins to prevent evaporation and disposed of to a licenced solid waste transfer station. It can not be placed in the bin or on the ground.

LEGEND

-  GEOTEXTILE FABRIC FILLED WITH GRAVEL
-  SEDIMENT CONTROL & SAFETY SILT FENCE
-  DRIVEWAY HARDWOOD CROSSING
-  SKIP BIN
-  STOCKPILES



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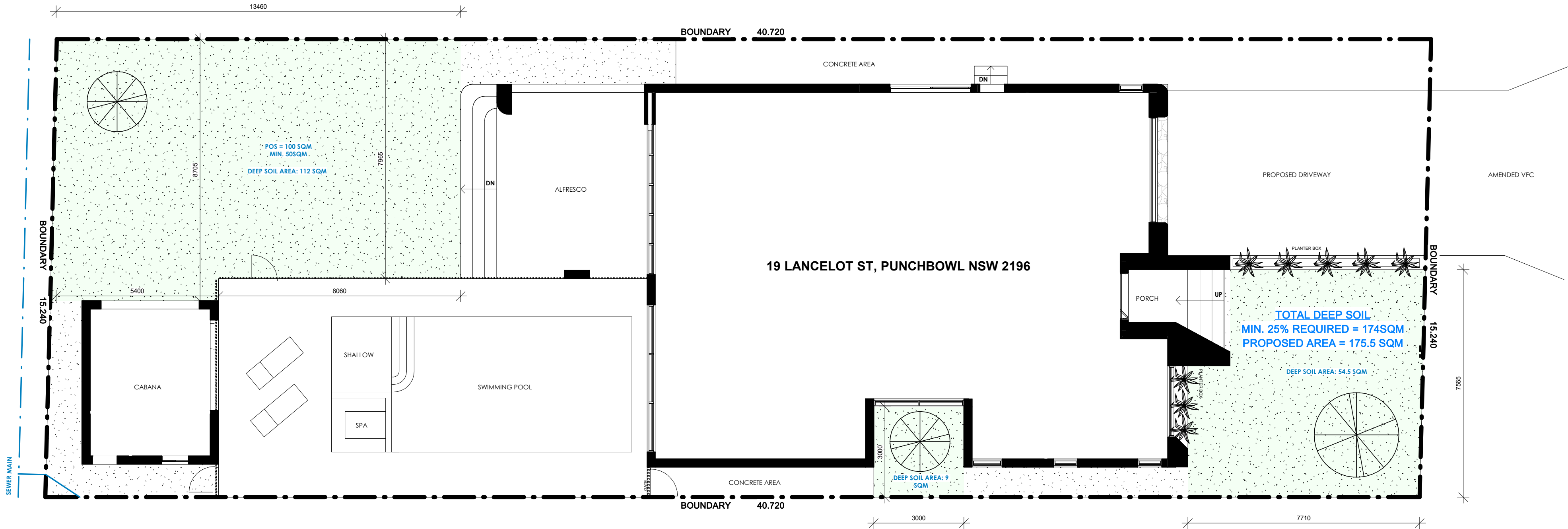
PROPOSED TWO STOREY DWELLING WITH BASEMENT

19 LANCELOT STREET, PUNCHBOWL NSW 2196

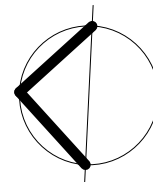
Client	ADAM SALEM
Drawing title	SEDIMENT CONTROL PLAN
Scale	As indicated @ A2
Drawing no	

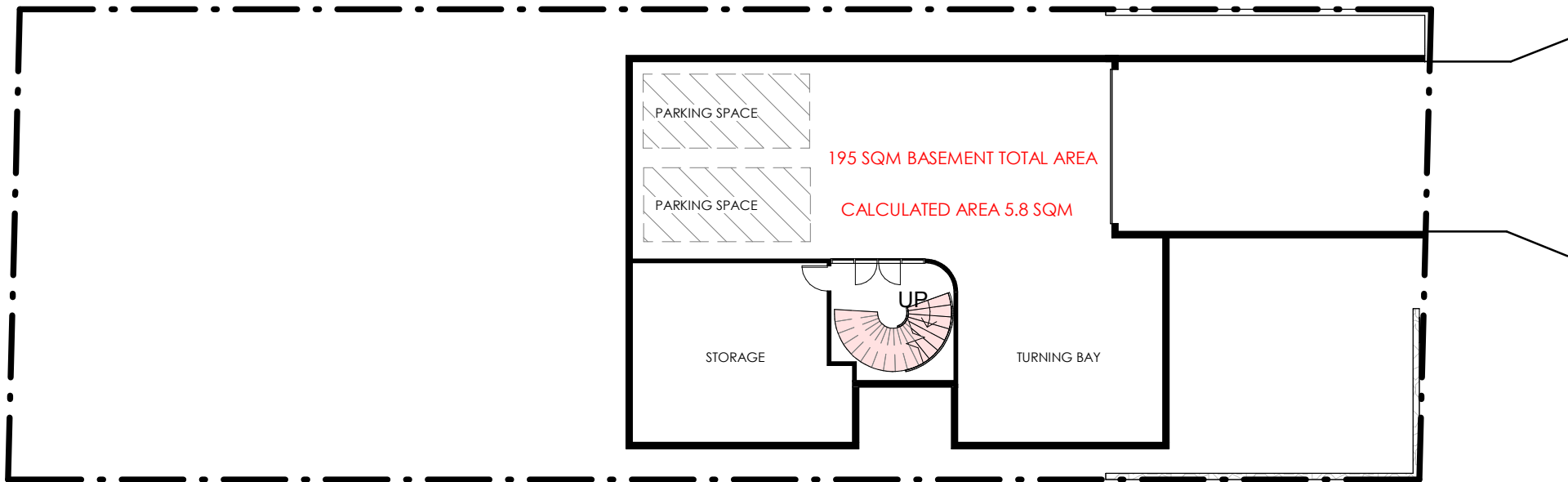
017



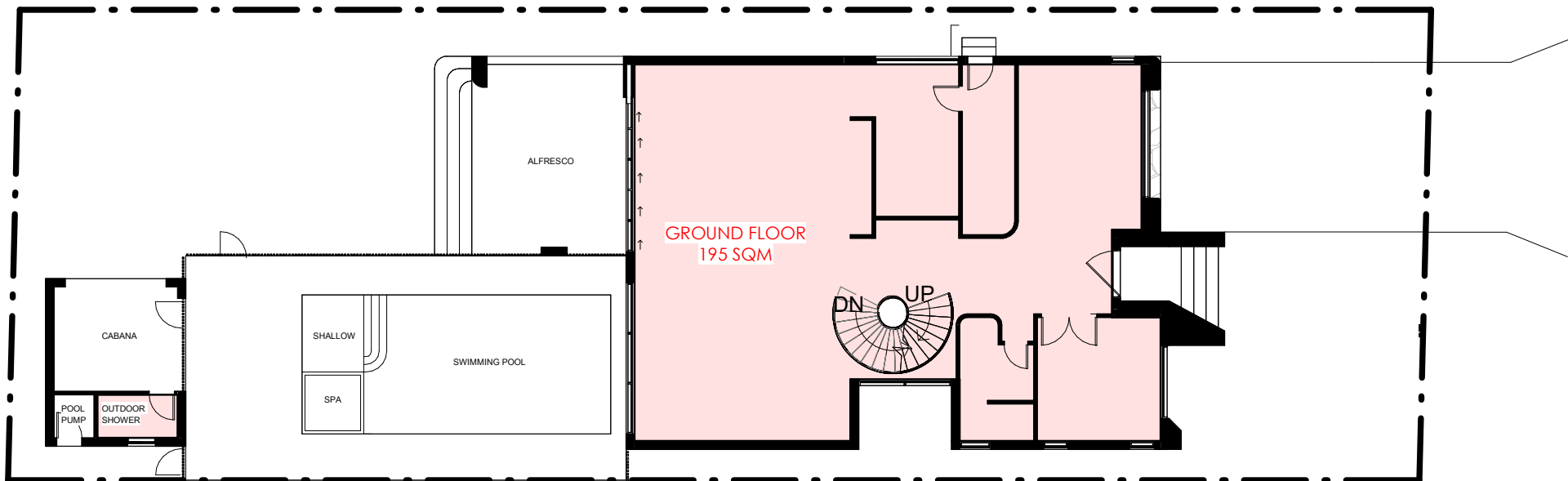


1 Deep Soil Plan  
1 : 100

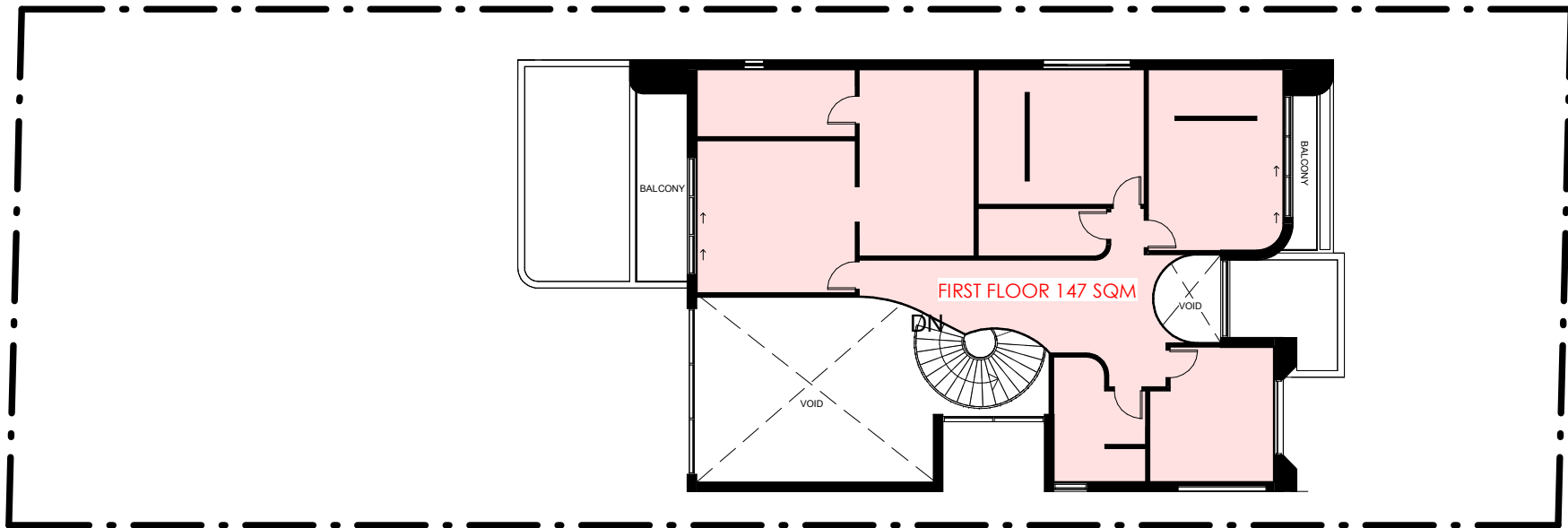




3 Basement GFA  
1 : 200



2 Ground Floor GFA  
1 : 200

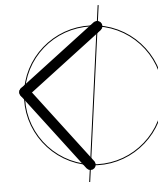


1 First Floor GFA  
1 : 200

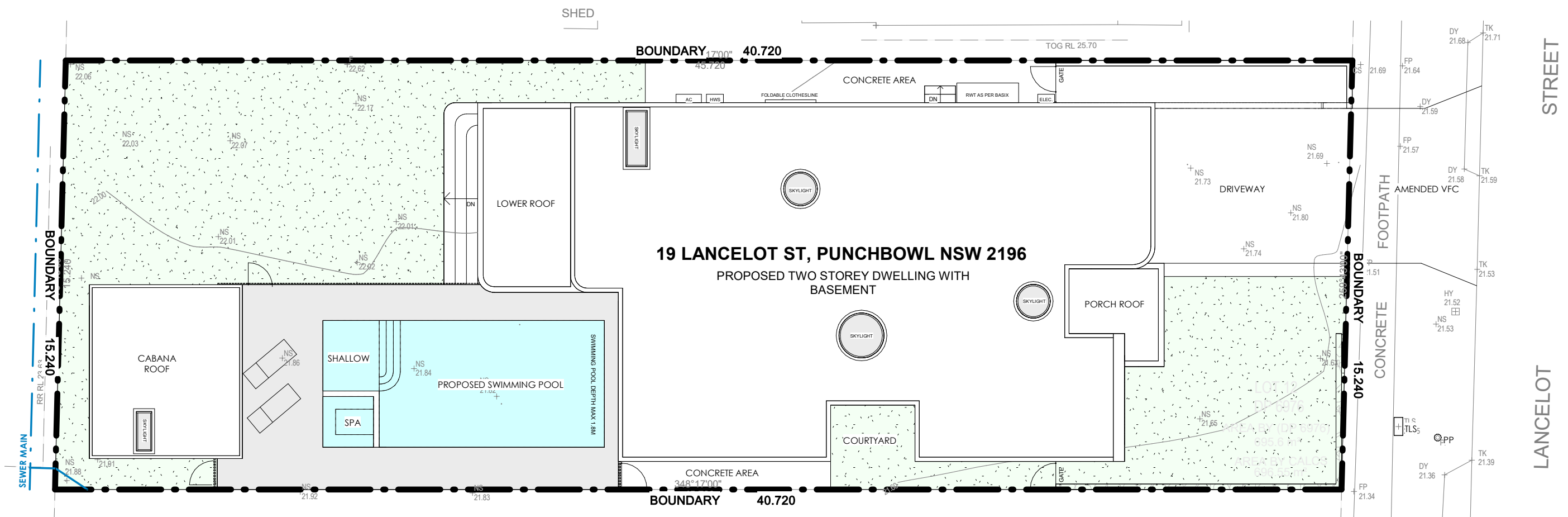
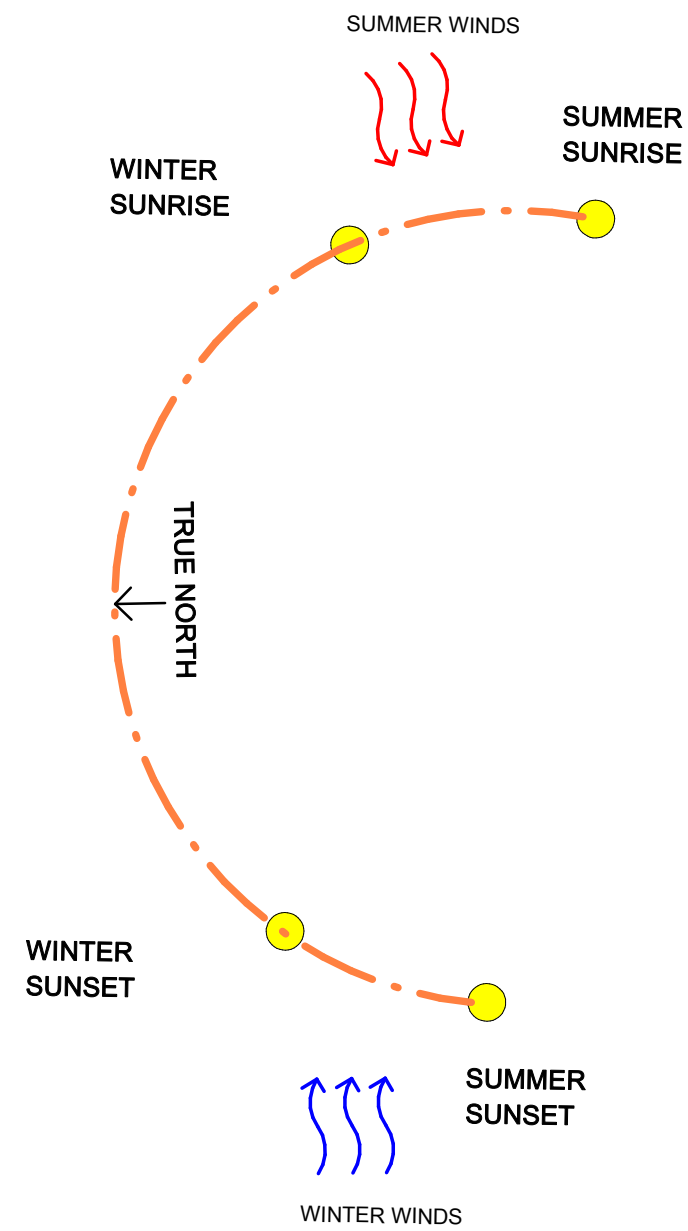
**FLOOR SPACE RATIO:**

ALLOWED FSR: 0.5 : 1 = 347.8 SQM

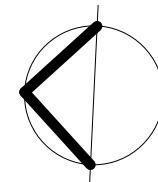
<b>LOT 01:</b>	
BASEMENT AREA	195 SQM
CALCULATED BASEMENT	5.8 SQM
GROUND FLOOR	195 SQM
FIRST FLOOR	147 SQM
<b>TOTAL FSR</b>	<b>347.8 SQM</b>

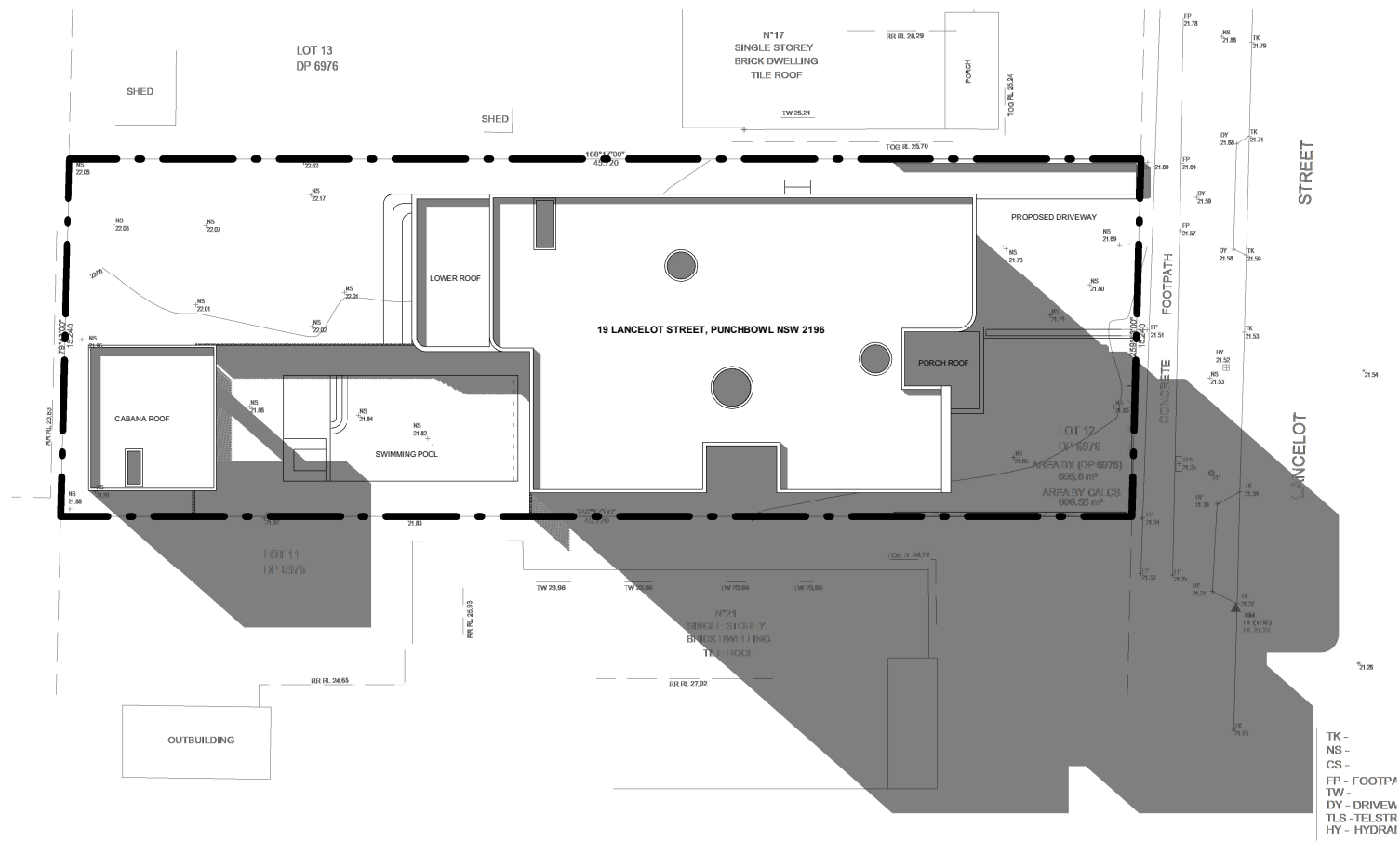






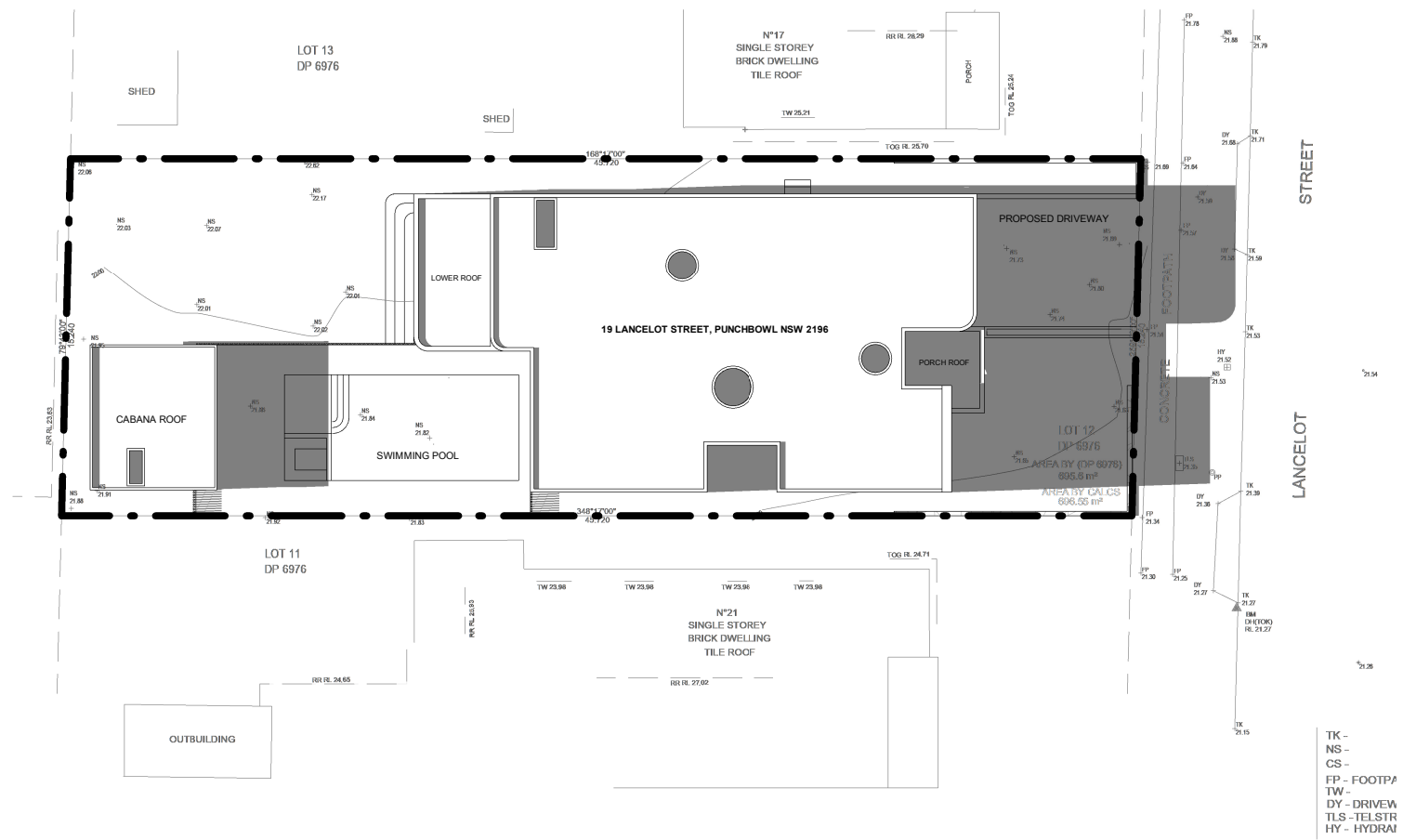
1 Site Analysis Plan  
1 : 150





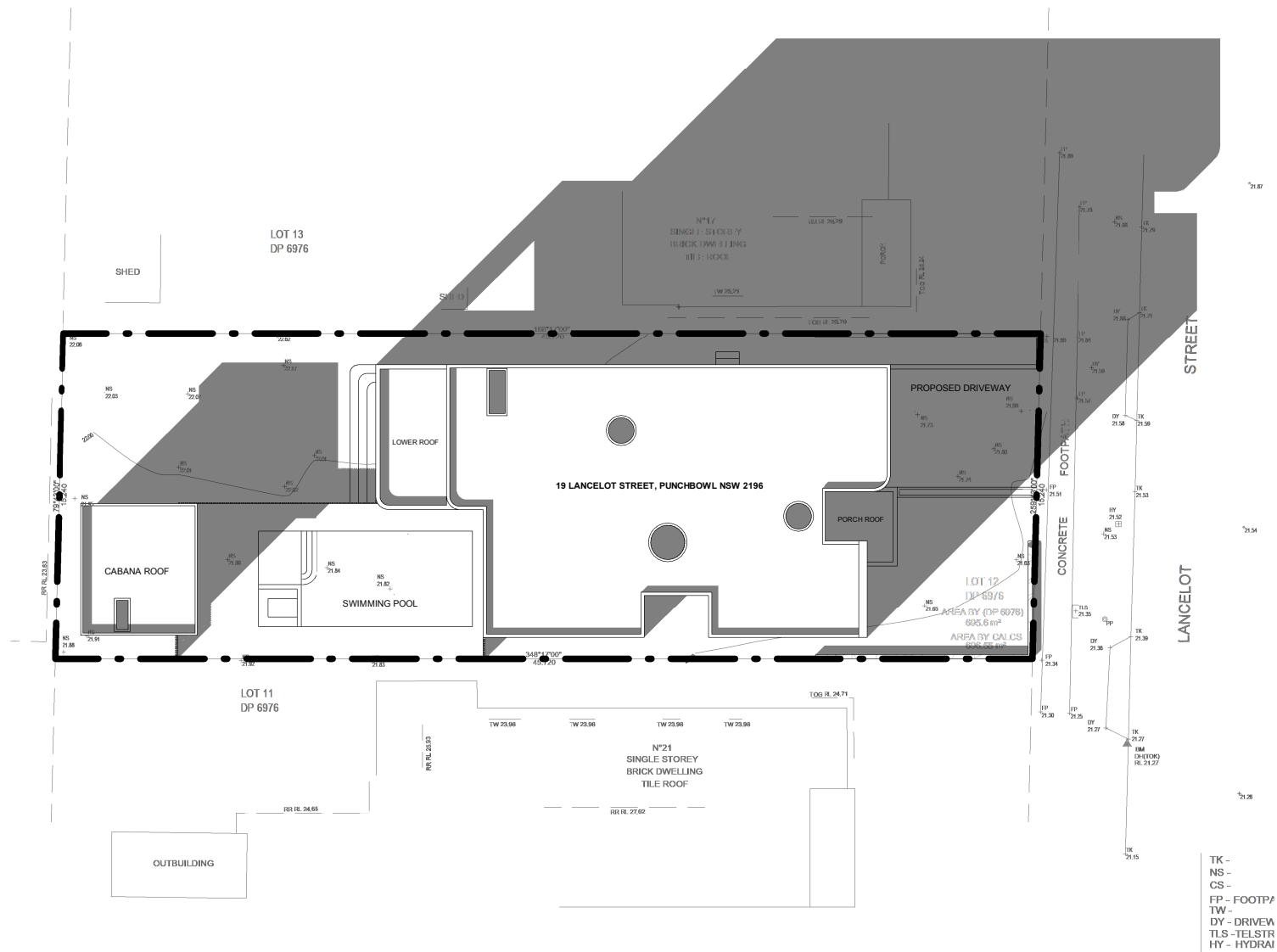
1 Winter 9am Shadow Diagram

1 : 300



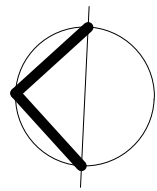
2 Winter 12pm Shadow Diagram

1 : 300



3 Winter 3pm Shadow Diagram

1 : 300



**dezcon**

m\_ 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

Approved By A Salameh  
B.Des.Architecture | M.Architecture at UTS  
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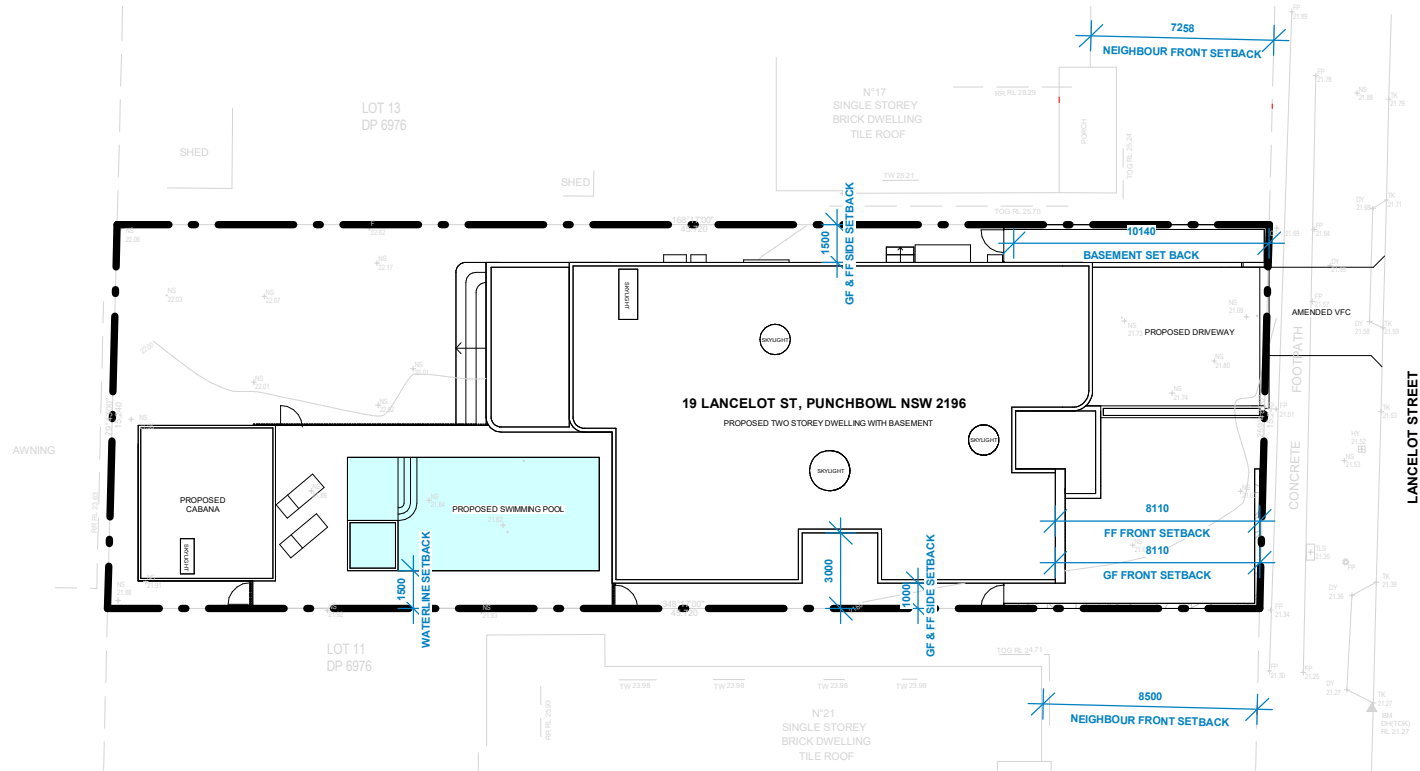
Client	ADAM SALEM
Drawing title	WINTER SHADOW DIAGRAM
Scale	1 : 300 @ A2
Drawing no	

PROPOSED TWO STOREY DWELLING  
WITH BASEMENT

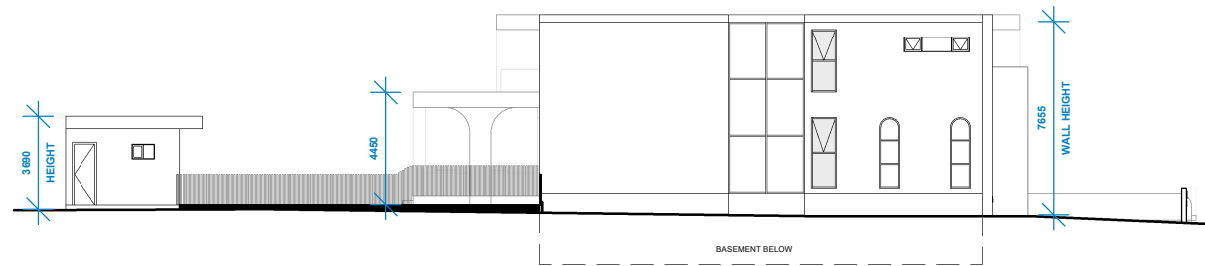
19 LANCELOT STREET, PUNCHBOWL NSW 2196

021

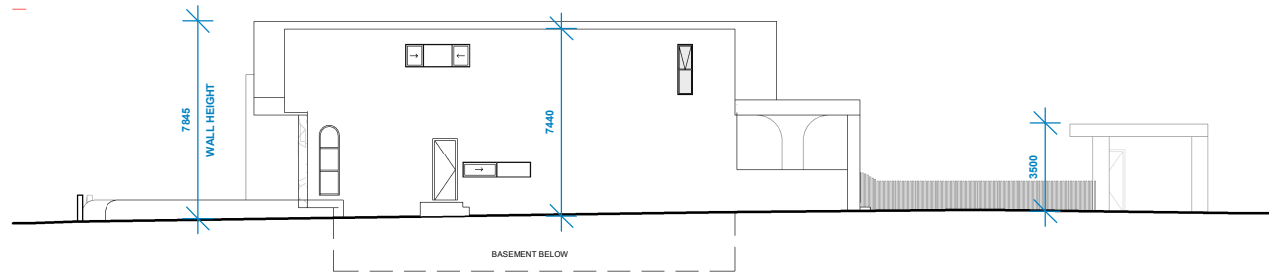




1 Site Plan - NN  
1 : 300



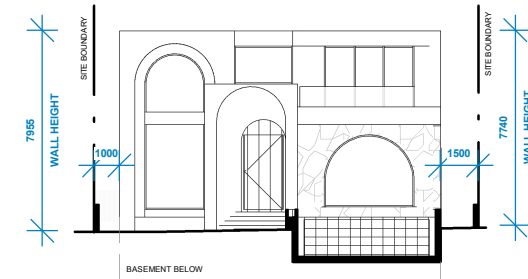
2 West Elevation - NN  
1 : 300



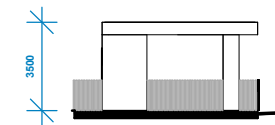
5 East Elevation - NN  
1 : 300



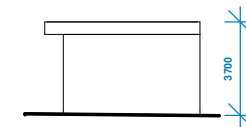
4 North Rear Elevation - NN  
1 : 300



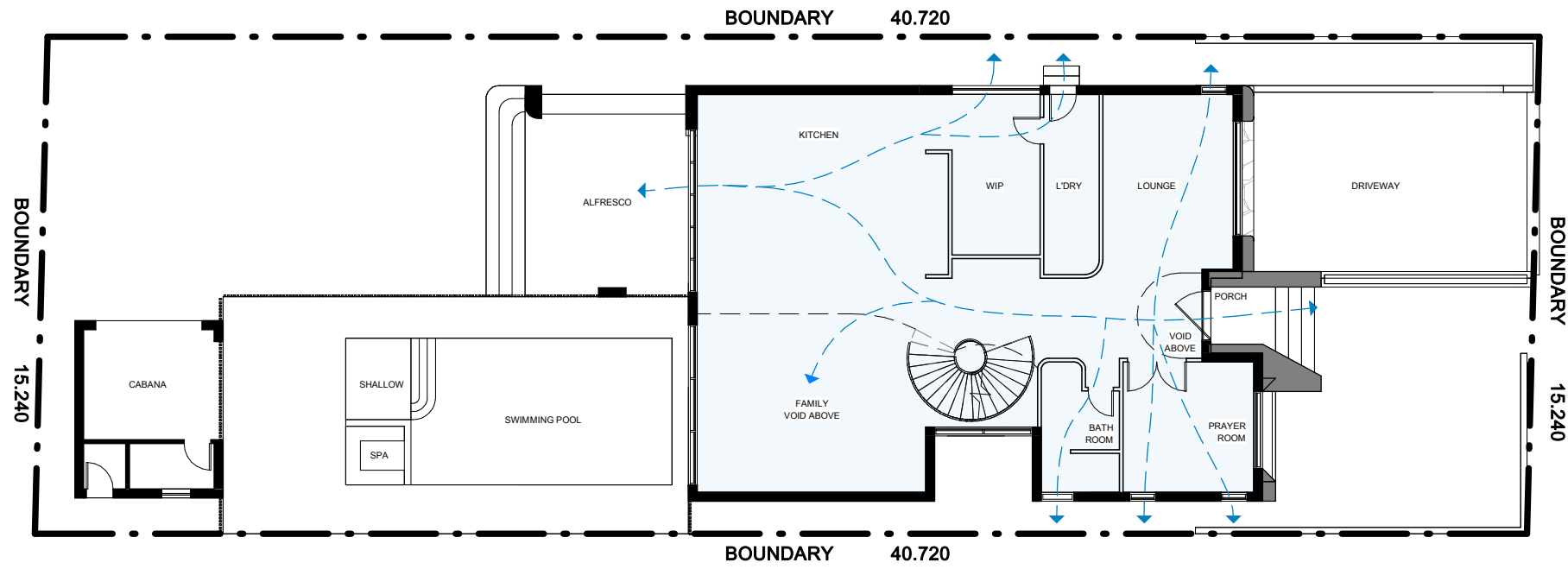
3 South Facade Elevation - NN  
1 : 300



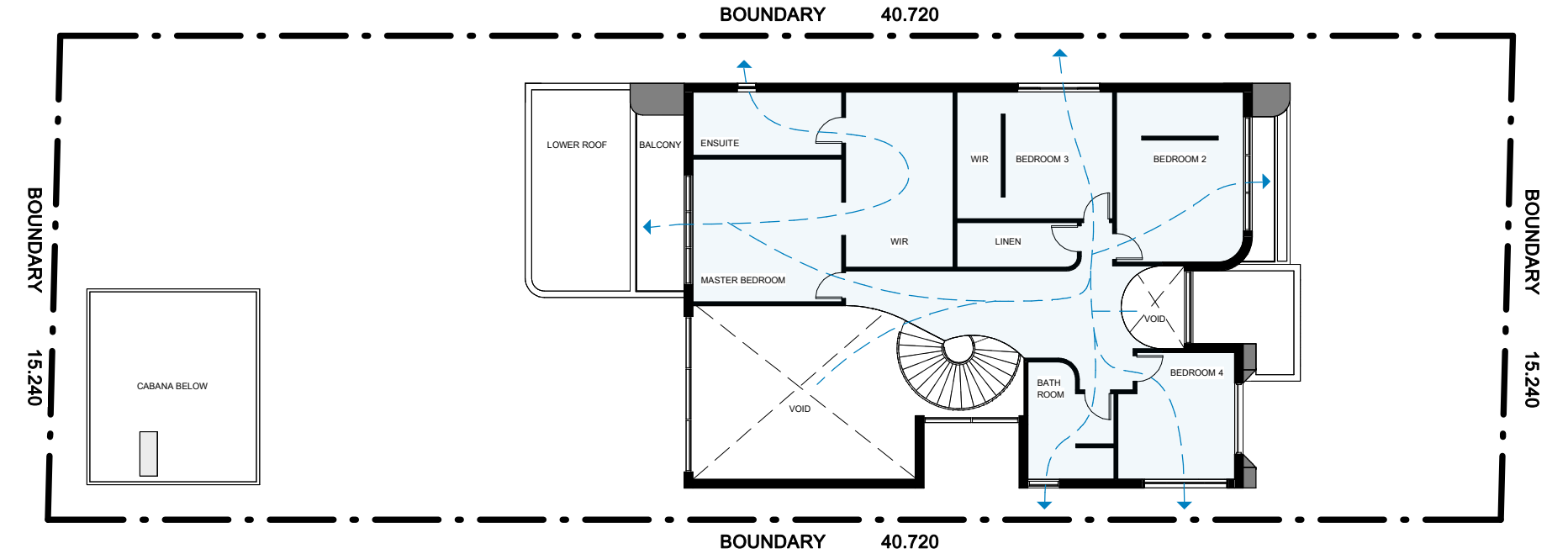
6 Cabana South Elevation - NN  
1 : 300



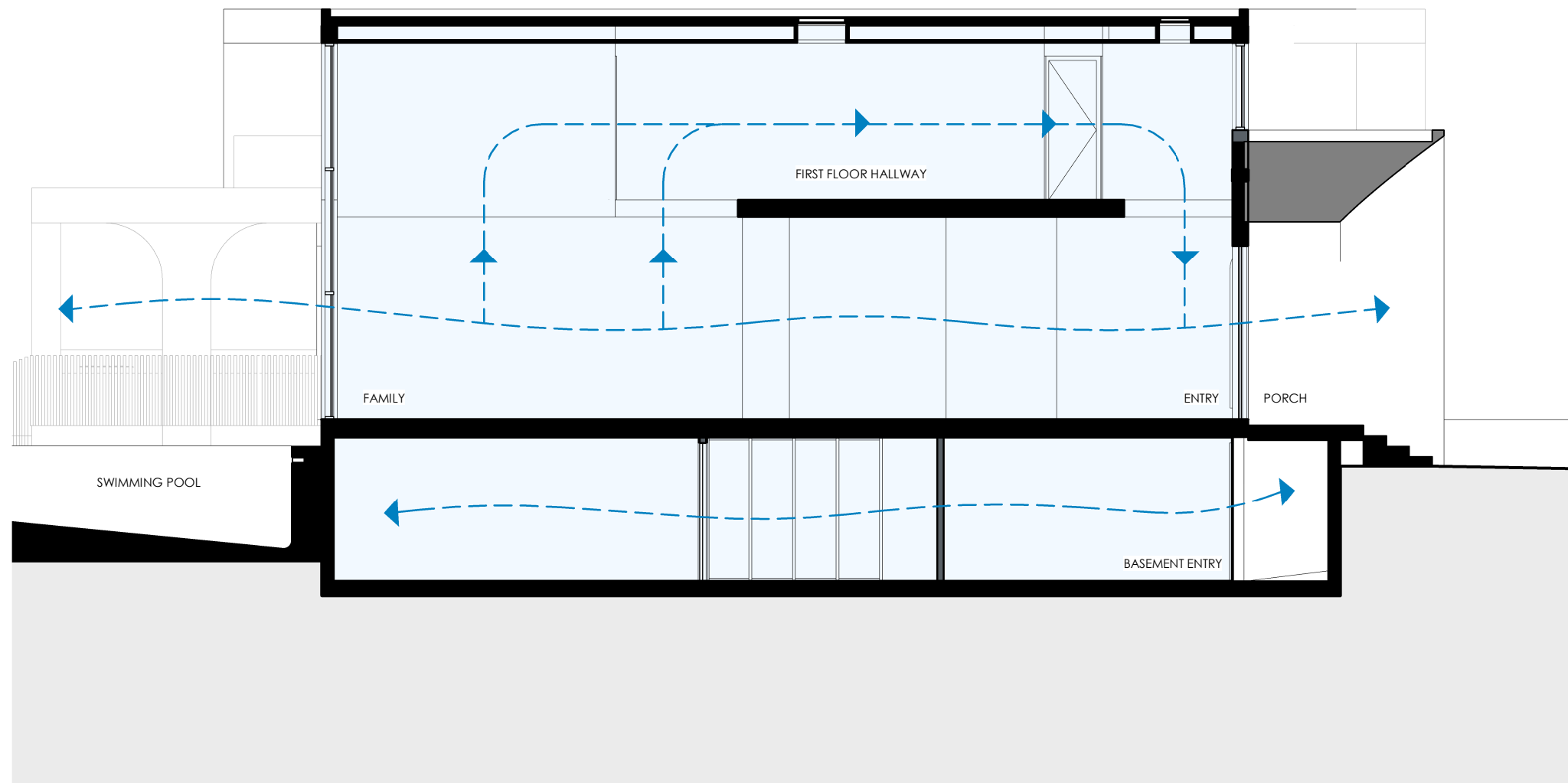
7 Cabana North Rear Elevation - NN  
1 : 300



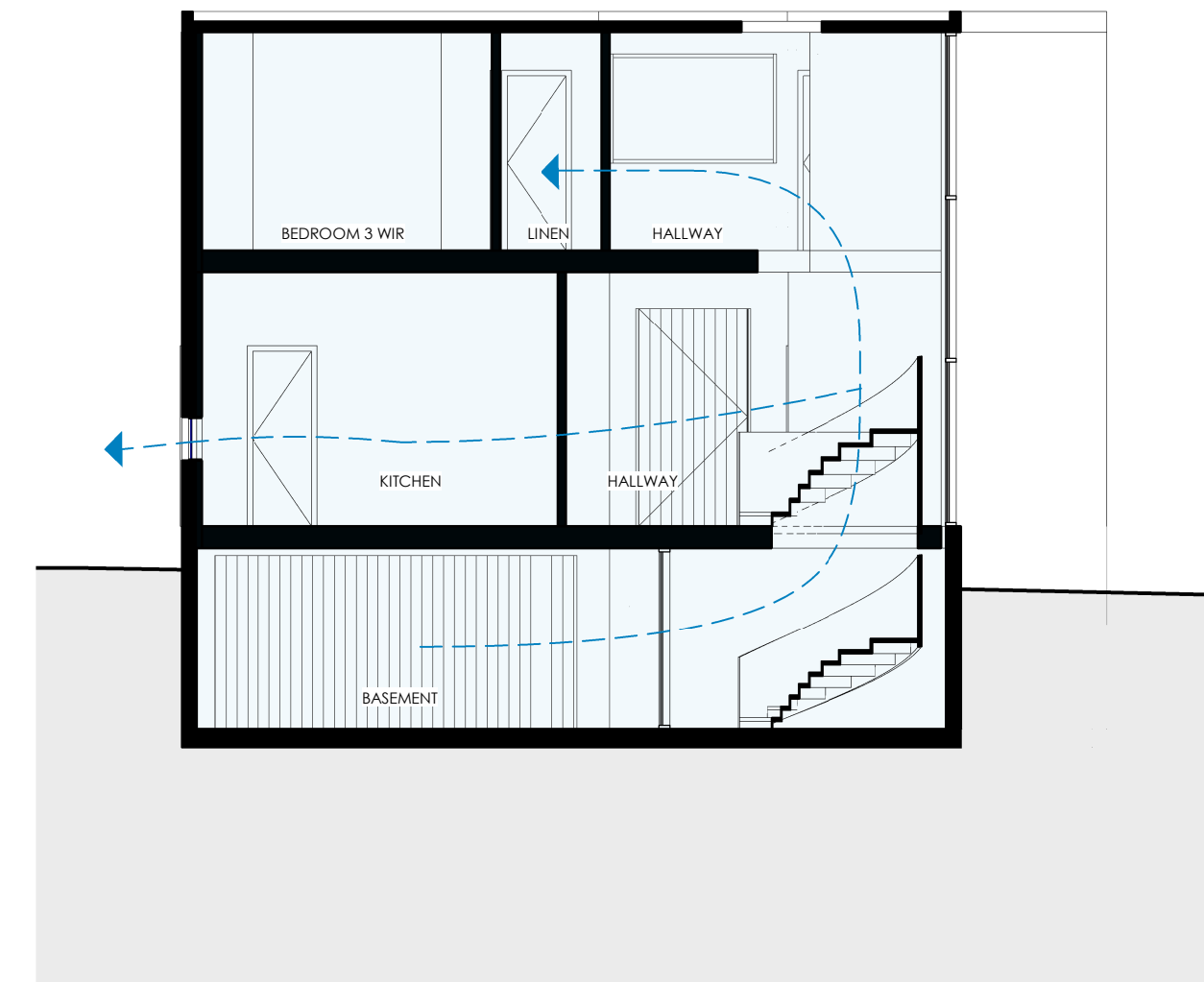
**2** Ground Floor Cross Flow Ventilation Plan  
1 : 200



**3** First Floor Cross Flow Ventilation Plan  
1 : 200

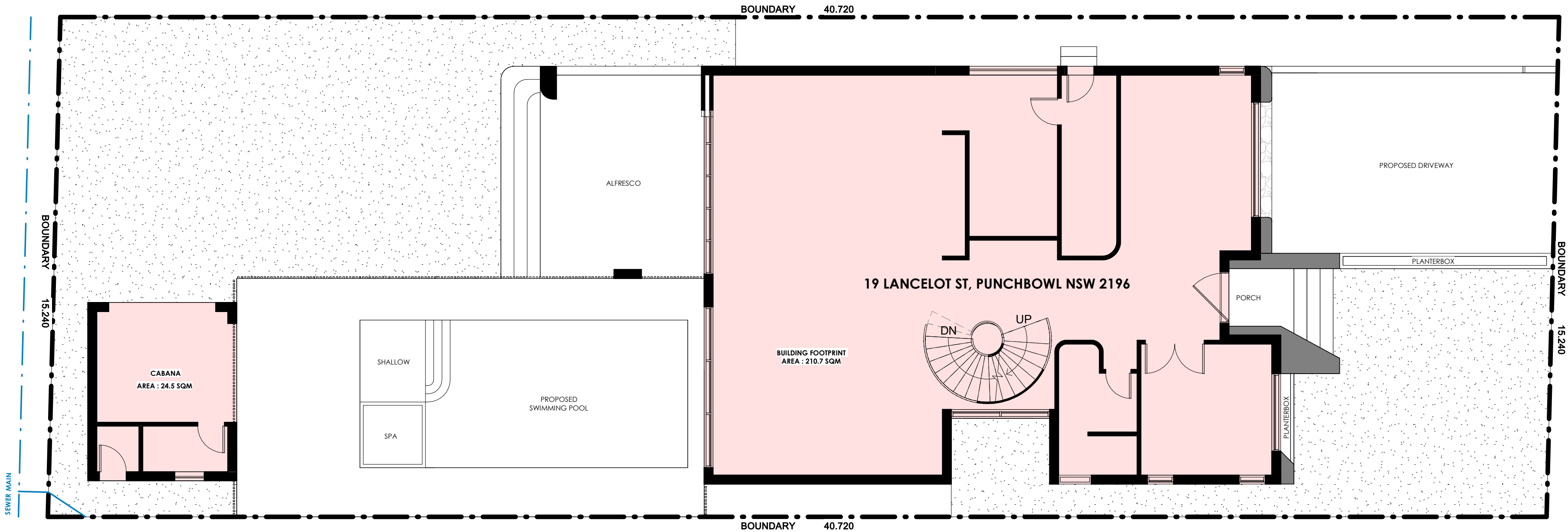


**1** Cross Flow Ventilation Diagram 1  
1 : 100



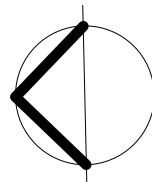
**4** Cross Flow Ventilation Diagram 2  
1 : 100






1 Building Footprint & Site Coverage Plan  
1 : 100

MAX. SITE COVERAGE 40% = 278.62 SQM  
PROPOSED SITE COVERAGE = 235.3 SQM





m. 0423 908 060  
info@dezcon.net  
www.dezcon.net.au

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	AS

**PROPOSED TWO STOREY DWELLING  
WITH BASEMENT**

19 LANCELOT STREET, PUNCHBOWL NSW 2196

Client	ADAM SALEM
Drawing title	BUILDING FOOTPRINT PLAN
Scale	1 : 100 @ A2
Drawing no	024