19 LANCELOT ST, PUNCHBOWL NSW 2196

Lot 12, DP 6976 LGA: CANTERBURY BANSKTOWN COUNCIL

PROPOSED DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL AND ASSOCIATED CABANA

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BUILDING SPECIFICATIONS & FIRE SAFTEY:

- General Requirements

- eral Requirements Window sizes are approximate and are to be verified on site prior to fabrication. All glass thickness to be suitable to current glazing code. All frames to windows shall be selected powdercoat aluminum. All windows to comply with current wind loads. All windows and doors to be complete with weather strips, trims, deadlocks and fly screens to match. Do not scale window openings off drawings. All steelwork to be hot dipped glavanised as specified by engineer. Steelwork 3 fier paint system 2 pack epoxy system 1. waterproof / hardener; 2. primer / hardener; 3. colour / hardener. Expansion joints in brickwork to engineering details

- All brick ties, lintels and structural steel to be stainless unless otherwise noted. All brick ties, lintels and structural steel to be stainless unless otherwise noted. All DA conditions to be complied with. Provide falls in all areas to achieve adequate drainage required to outlets.Builder to provide topping to ensure acceptance by
- Structural and hydraulic engineers. Waterproofing to all areas to be suitable for purpose. All waterproofing to be confirmed by appointed hydraulic consultant.
- All waranies and guarantees to be provided for all waterproofing. Painting to AS2311, builder to discuss and confirm all paint systems and applications with client prior to any work commencing. All glass balustrades to comply with Australian Standards, shop drawings to be provided for approval prior to any fabrication. To be
- All glass balastrades to comply with Australian standards, shop arawings to be provided for approval prior to dry fabrication confirmed by structural engineer. Exposed timber to be selected by builder. All timbers to be suitable for outdoor exposure. Sound transmission and insulation builder to achieve BCA/NCC compliance for sound rating in accordance with relevant BCA/NCC.
- Service ducts and pipes to comply with BCA/NCC requirements.Builder to appoint an acoustic engineer to provide specialist advice for strict compliance. All service ducts/rises/penetrations to be fully sound and fire rated to BCA/NCC and Australian standard requirements.
- Mechanical ventilation zones to be constructed in compliance with Part 3.8.5 Ventilation of the BCA/NCC. Builder to provide full certificate of roofing material used and warranty of supply and installation.
- All steel lintels to be fire rated. Smoke seals in accordance with BCA/NCC and Australia standards. <Fire seperation to all floor and cavities in accordance to BCA/NCC.
- "Homeguard" termite management barriers to be used to cover all aspects of termite protection to comply with AS 3660.1 Glazing to sliding doors and areas subject to potential human impact to comply with Part 3.6 Glazing of the BCA/NCC. Full compliance with BASIX & Nothers requirements. Builder and all trades must register and obtain relevant information from "dial before you dig" <www.1100.com.au> prior to
- commencing works. • Steelwork 3 tier paint system - 2 pack epoxy syste. 1. waterproof/hardner 2. primer/hardner 3. colour/hardner.

All Standards and Codes including but not limited to the BCA/ NCC and any referenced AS/NZS standard to apply and be conformed with as required.



		NO.	Date	Revision	Date	Project no.	Client	ADAM SALEM
		A	02/04/2025	ISSUE FOR DA	02/04/2025	40/2	2024	
			02/01/2020		Revision no.	Checked by	Drawing title	
					_			COVER PAGE
	dezcon					Α	AS Scale	@ A2
	GOLCOIT	COPYRI	GHT CLAUSE		PROPOSED	TWO STOREY DWELL	NG Drawing no	
m_ 0423 908 060 info@dezcon.net	Approved By A Salameh B.Des.Architecture M.Architecture at UTS	These dr reproduc	awings and designs are t ed either in part or whole	the property of Amani Salameh and Should not be without written consent. arded as confidential and must not be disclosed to		WITH BASEME		
www.dezcon.net.au	BDAA 6523			ust be retuyrned upon request.	19 LANCELOT STRE	ET, PUNCHBOWL NSW 2	2196	000

BASIX[°]Certificate Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1783491S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Sunday, 09 March 2025 To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

AM
NSW
GOVERNMENT

When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate ZSHPPOZQGL-01.

19 LANCELOT Street PUNCHBO	WL 2196
Canterbury-Bankstown Council	
Deposited Plan DP6976	
12	
-	
dwelling house (detached)	
4	
✓ 40	Target 40
V Pass	Target Pass
✓ 72	Target 72
J -100	Target n/a
	Canterbury-Bankstown Council Deposited Plan DP8976 12 - dwelling house (detached) 4 4 4 40 • Pass 72

19 Lancelot_02

ertificate Prepared by
me / Company Name: PEREZ ARCHITECTURAL SERVICES PTY LTD

Description of project

	· · · · · · · · · · · · · · · · · · ·	Assessor details and them		
roject name	19 Lancelot_02	NatHERS assessor number	101510	
treet address	19 LANCELOT Street PUNCHBOWL 2196	NatHERS certificate number	ZSHPPOZQGL-01	
ocal Government Area	Canterbury-Bankstown Council	Climate zone	56	
1an type and plan number	Deposited Plan DP6976	Area adjusted cooling load (MJ/	14	
ot no.	12	m².year)		
ection no.	-	Area adjusted heating load (MJ/ m ² .year)	16	
Project type		Project score		
roject type	dwelling house (detached)	Water	✓ 40	Target 40
lo. of bedrooms	4		V 10	Taiget 40
iite details		Thermal Performance	V Pass	Target Pa
ite area (m³)	696	Energy	✓ 72	T
loof area (m²)	229		✓ 72	Target 72
onditioned floor area (m²)	350.9	Materials	-100	Target n/a
Inconditioned floor area (m ³)	26.6		-	-
otal area of garden and lawn (m²)	174	7		
loof area of the existing dwelling (m ²)	0	7		

	nming pool must not have a volume gre		DA plan	ns plans & specs	check
The swim		ater than 90 kilolitres.	¥	×	
	nming pool must be outdoors.		~	 ✓ 	
Outdoo	or Spa				
The spa i	must not have a volume greater than 3	.24 kilolitres.	~	 ✓ 	
The spa i	must have a spa cover.			 ✓ 	

BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificale No.: 17834915_02 Sunday, 09 March 2025 page 1/10 Infrastructure

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	Thermal Performance and Mat	erials commitments			Show on CC/CDC plans & specs	Certifie check
Simulation Method				Construction					
Assessor details and thermal loads					walls, roofs, ceilings and glazing of the dwelling in accordance with th	e specifications listed in			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.				the tables below. The applicant must show through receip the tables below.	Is that the materials purchased for construction are consistent with th	e specifications listed in	•	•	v
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				Question time	Anna 201	Insulatio	_	_	_
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.				Construction floor - above habitable rooms or mezzar suspended; frame: no frame	Area - m ² 237.2	none	n		
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	~	~	~	floor - suspended floor above garage, co suspended; frame: no frame.	oncrete - 140.3	none			
				garage floor - concrete slab on ground.	140.3	none			
Centricate, and all aspects or the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor				external wall: cavity brick; frame: no fran				ard+ foil/sarking	
The applicant must construct the development in accordance with all thermal performance specifications set out in the respector Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		 ✓ 	 ✓ 	external garage wall: concrete block/pla frame.		polystyre	ne .		
The applicant must show on the plans accompanying the development application for the proposed development, the locations of				internal wall: single skin masonry; frame		none			
ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	 ✓ 	· ·	· ·	ceiling and roof - flat ceiling / flat roof, co internal, no frame.	oncrete - bare 228.98	ceiling: fo	il-foam compo	site board; roof: none.	

Schedule	of BASIX	commitments
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The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Vater Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 8 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		~	~
he applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 7000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
all toilets in the development		~	~
the cold water tap that supplies each clothes washer in the development		✓	~
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓	~
Swimming Pool		•	

BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificale No.: 17834915_02 Sunday, 09 March 2025 Intrastructure page 3/10

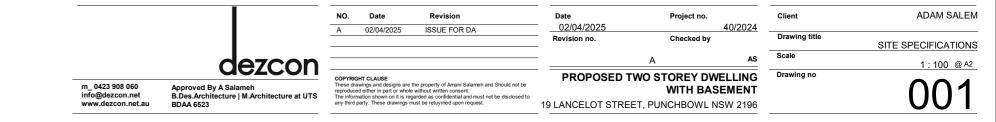
SITE CALCULATIONS	CRITERIA	PROPOSED
TOTAL SITE AREA	-	695.6 m ²
ZONE	-	R3
MAX FSR	25%+300 m ²	
	=347.8 m ²	347.8 m ²
MAX BUILDING HEIGHT	8.5 m	7.95m
TOTAL LANDSCAPING	50% - 100	
	= 174 m ²	175.5 m ²
PROPOSED LOT 01		
BASEMENT AREA	-	195 m ²
CALCULATED BASEMENT	-	5.8 m ²
GROUND FLOOR AREA	-	195 m ²
FIRST FLOOR AREA	-	147 m ²
TOTAL FSR	-	347.8 m ²
BF FRONT SETBACK	7880 mm	10140 mm
GF FRONT SETBACK	7880 mm	8110 mm
FF FRONT SETBACK	7880 mm	8110 mm
BF SIDE SETBACK	1000 mm	1000 mm
GF SIDE SETBACK	1000 mm	1000 mm
FF SIDE SETBACK	1000 mm	1000 mm
BF REAR SETBACK	6000 mm	19660 mm
GF REAR SETBACK	6000 mm	31550 mm
FF REAR SETBACK	6000mm	19660 mm
PRIVATE OPEN SPACE	50 m ²	100 m ²

BUILDING SPECIFICATIONS

- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
- BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL
- SINGLE BRICK WALLS FOR ALL INTERIOR WALLS CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR
- SUSPENDED CONCRETE SLAB FOR FIRST FLOOR
- CONCRETE ROOF

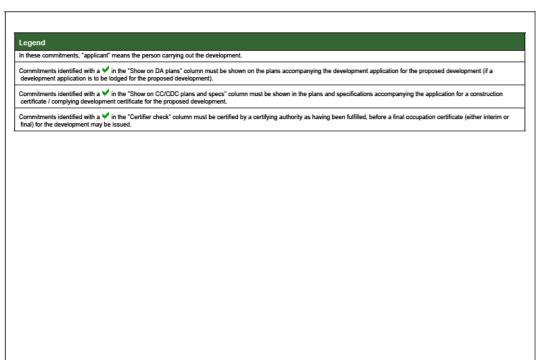
GENERAL NOTES

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF SHEETING AND ROOF TILES
- ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES - SELECT FINISH TO TIMBER LOUVERS
- DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH
 SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS
- ALUMINIUM POWDER COATED FRAMING TO GLAZED WINDOWS
- ALUMINIUM POWDER COATED BI-FOLD DOORS WITH SELCT GLAZING - ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT GLAZING
- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR
- SELECT GLAZING TO BALCONY BALUSTRADING
- REINFORCED CONCRETE V COLOUMN SELECT FINISH TO ROLLER SHUTTER DOORS
- PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS
- PROVIDE SELECT FLOOR FINISH
- RC, SLAB, FOOTINGS AND BEAMS REFER TO BASIX REPORT FOR THERMAL, GLAZING AND WATER
- COMMITMENTS - REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS



Thermal Performance and Materials	commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing						
The applicant must install windows, glazed doo listed in the table.	ors and skylights as describe	d in the table below, in accord	ance with the specifications	~	~	~
Frames		Maximur	n area - m2	-		-
aluminium		132.41				
imber		0				
JPVC		0				
steel		0				
composite		0				
Glazing		Maximur	n area - m2			
single		132.41				
double		0				
riple		0				

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 0 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning: Energy rating: EER 3.5 - 4.0		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		~	
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	~
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting- diode (LED) lamps.		~	~
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	~



ZSHPPOZQGL-01 XX Generated on 4 Mar 2025 using FirstRate5: 5.5.5a (3.22) 7 Property 19 Lancelot Street, Punchbowl, NSW, 2196 12/DP6976 Address e energy effici Lot/DP NATIONWIDE HOUSE NCC Class* Class 1a Floor/all Floors Туре New Home ENERGY RATING SCHEMI Plans 29.9 MJ/m² Main plan 40/2024 Rev A/13.03.2023 Prepared by Predicted annual energy load for heating and cooling based on standard occupancy assumptions. Dezcon **Construction and environment** For more information on your dwalling's ruling see: Assessed floor area [m²]* Exposure type Conditioned* 350.9 suburban Unconditioned* 166.9 Total 517.8 NatHERS climate zone 56 Mascot AMO Thermal performance [MJ/m²] 140.3 Garage Limits taken from ABCB Standard 2022 Heating Cooling Accredited assessor Modelled 16.3 13.5 Load limits N/A N/A Millard Perez Name Features determining load limits Business nam Thermperform Email millard@thermp Floor type N/A (lowest conditioned area) NCC climate zone 1 or 2 Outdoor living area Phone +61402366704 N/A N/A Accreditation No. 101510 Assessor Accrediting nisation Outdoor living area ceiling fan N/A ABSA Declaration of interest Whole of Home performance rating NCC Requirements Volume 2 NCC provisions State/Territory variation Yes No Whole of Home performance rating National Construction Code (NCC) requirements generated for this The NCC allows the use of NaHIERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One. certificate Verification NCC 2022 Includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home. To verify this certificate, scan the QR code or visit https://w ww.frs.com.au/QRCodeLand Ing?Publicid=ZSHPPOZQEL -01 When using either link, ensure you are visiting www.frs.com.au. The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au. Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

*Refer to glossary. Generaled on 4 Mar 2025 using FirstRate5: 5.5.5a (3.22) for 12/DP6976, 19 Lancelot Street, Punchbowl, NSW, 2196

Nationwide House Energy Rating Scheme® Thermal performance

NatHERS[®] Certificate No.

star rating

Page 1 of 14

BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 17834915_02 Sunday, 09 March 2025 page 10/10 Infrastructure

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		~	
The applicant must install a pump for the swimming pool in the development.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): electric heat pump		~	
The applicant must install a timer for the spa pump in the development.		~	
Alternative energy	Ċ		
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	 ✓ 	~	~
The photovolatic system must consist of:			
 photovolatic collectors with the capacity to generate at least 5.1 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north 	 ✓ 	~	-
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	

SITE CALCULATIONS	CRITERIA	PROPOSED
TOTAL SITE AREA	-	695.6 m ²
ZONE	-	R3
MAX FSR	25%+300 m ²	
	=347.8 m ²	347.8 m ²
MAX BUILDING HEIGHT	8.5 m	7.95m
TOTAL LANDSCAPING	50% - 100	
	= 174 m ²	175.5 m ²
PROPOSED LOT 01		
BASEMENT AREA	_	195 m ²
CALCULATED BASEMENT	-	5.8 m ²
GROUND FLOOR AREA	-	195 m ²
FIRST FLOOR AREA	-	147 m ²
TOTAL FSR	-	347.8 m ²
BF FRONT SETBACK	7880 mm	10140 mm
GF FRONT SETBACK	7880 mm	8110 mm
FF FRONT SETBACK	7880 mm	8110 mm
BF SIDE SETBACK	1000 mm	1000 mm
GF SIDE SETBACK	1000 mm	1000 mm
FF SIDE SETBACK	1000 mm	1000 mm
BF REAR SETBACK	6000 mm	19660 mm
GF REAR SETBACK	6000 mm	31550 mm
FF REAR SETBACK	6000mm	19660 mm
PRIVATE OPEN SPACE	50 m ²	100 m ²

BUILDING SPECIFICATIONS

- DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL SINGLE BRICK WALLS FOR ALL INTERIOR WALLS

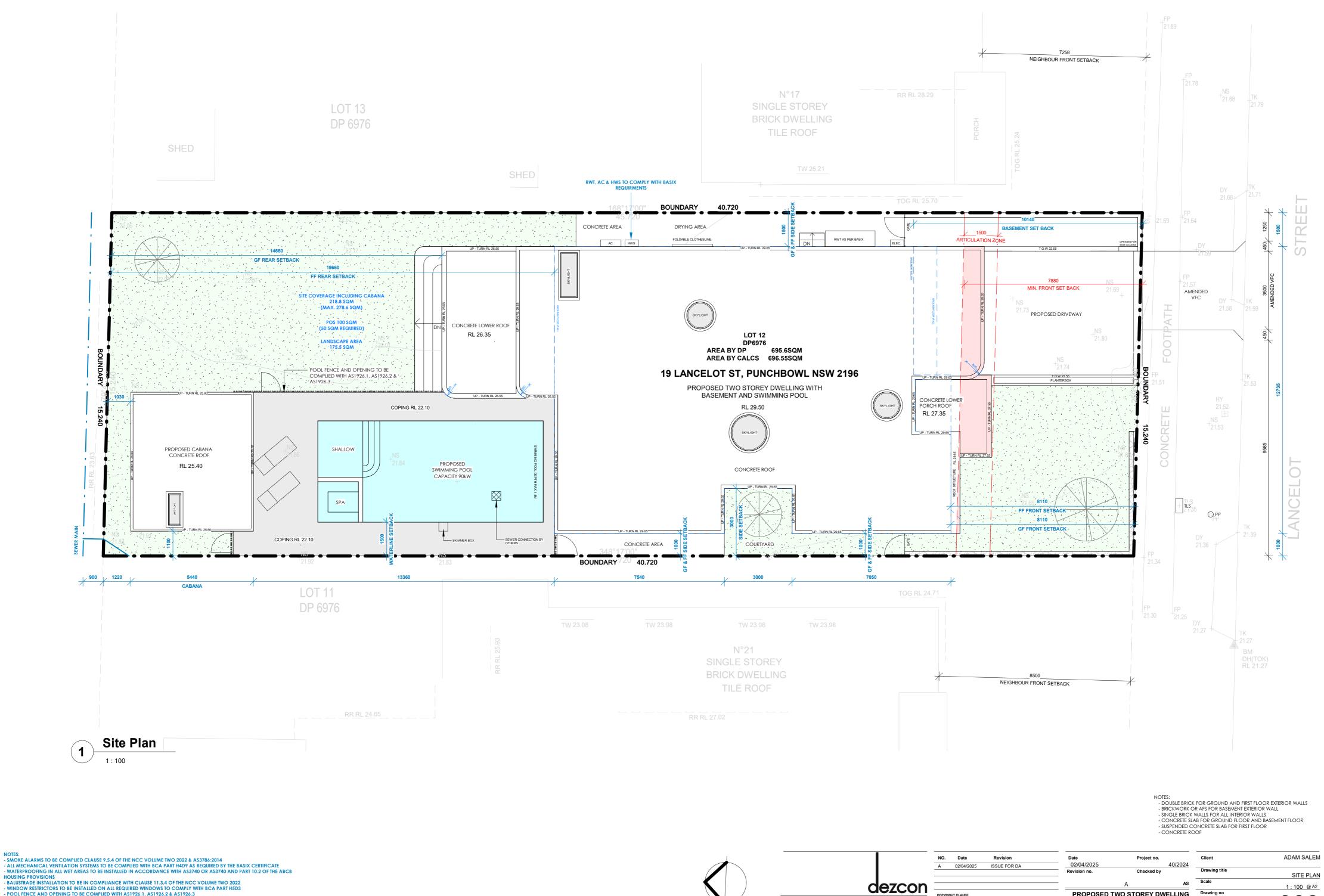
- CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR - SUSPENDED CONCRETE SLAB FOR FIRST FLOOR
- CONCRETE ROOF

GENERAL NOTES

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT
- ROOF SHEETING AND ROOF TILES

- ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES
 SELECT FINISH TO TIMBER LOUVERS
 DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH
 SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS
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 ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT
- GLAZING
- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR SELECT GLAZING TO BALCONY BALUSTRADING REINFORCED CONCRETE V COLOUMN
- SELECT FINISH TO ROLLER SHUTTER DOORS
- PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS
 PROVIDE SELECT FLOOR FINISH
 RC. SLAB, FOOTINGS AND BEAMS
- REFER TO BASIX REPORT FOR THERMAL, GLAZING AND WATER
- COMMITMENTS - REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS

		NO.	Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025	Project no. 40/	Clien /2024	ADAM SALEM
			02/04/2023	ISSUE FOR DA	Revision no.	Checked by	Draw	ving title SITE SPECIFICATIONS
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www.dezcon.net.au	BDAA 6523			ust be retuyrned upon request.	19 LANCELOT STRE	EET, PUNCHBOWL NSW	2196	002



WATERPROOFING IN ALL WELAKEAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR A33740 AND FA HOUSING PROVISIONS
 BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
 WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3
 POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
 POOL FUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 3B.56
 RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & A54654.2

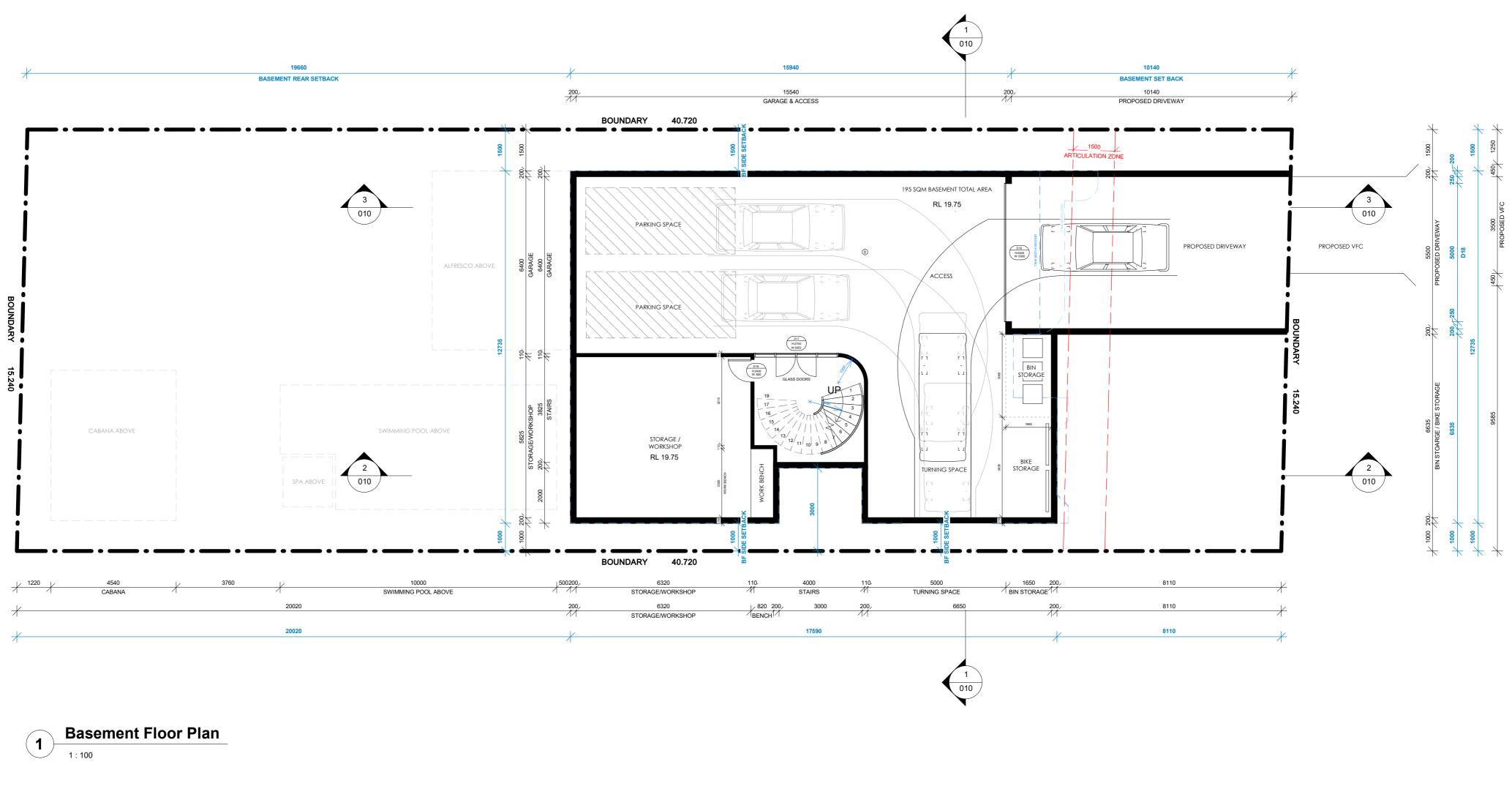
Approved By A Salameh B.Des.Architecture | M.Architecture at UTS BDAA 6523

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PROPOSED TWO STOREY DWELLING WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196

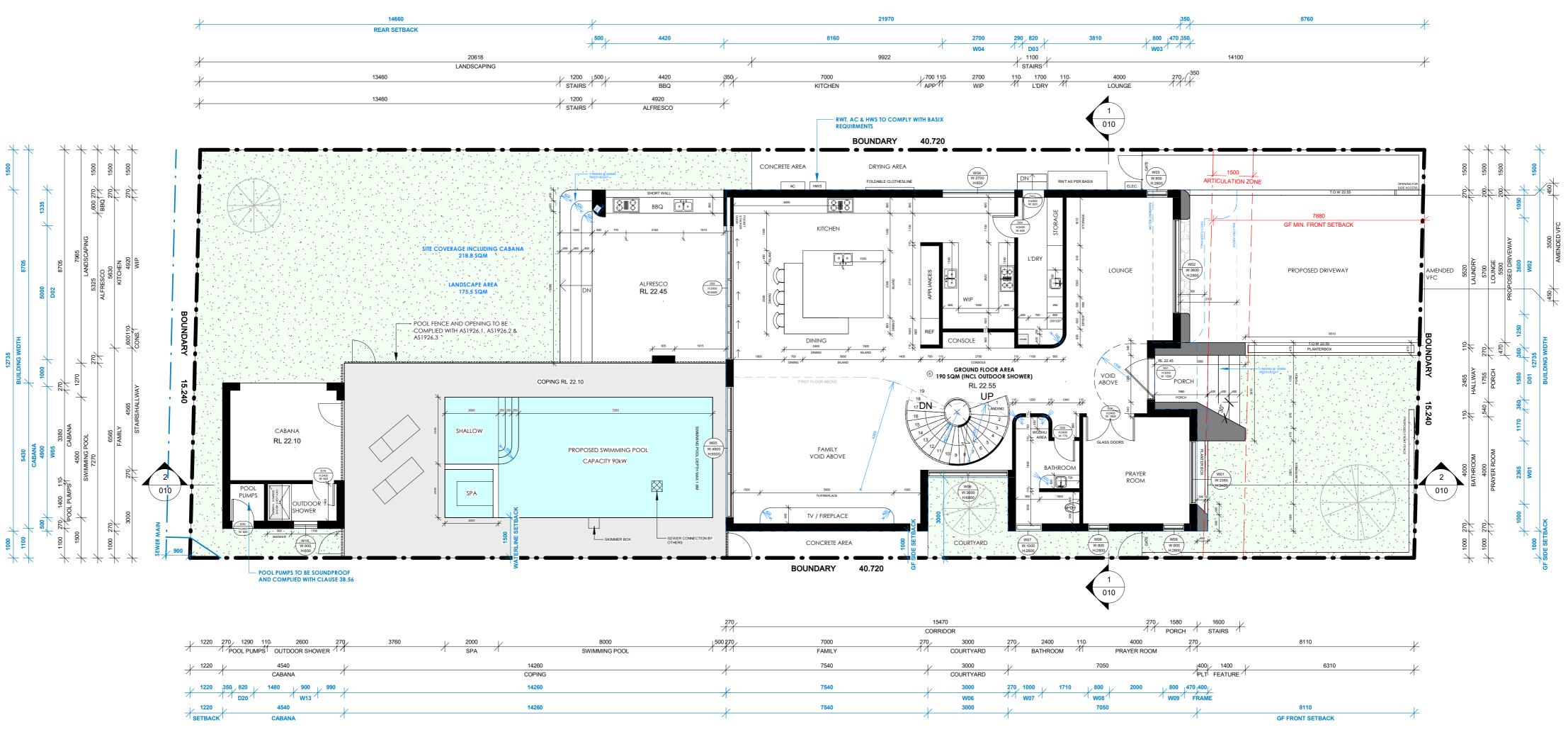
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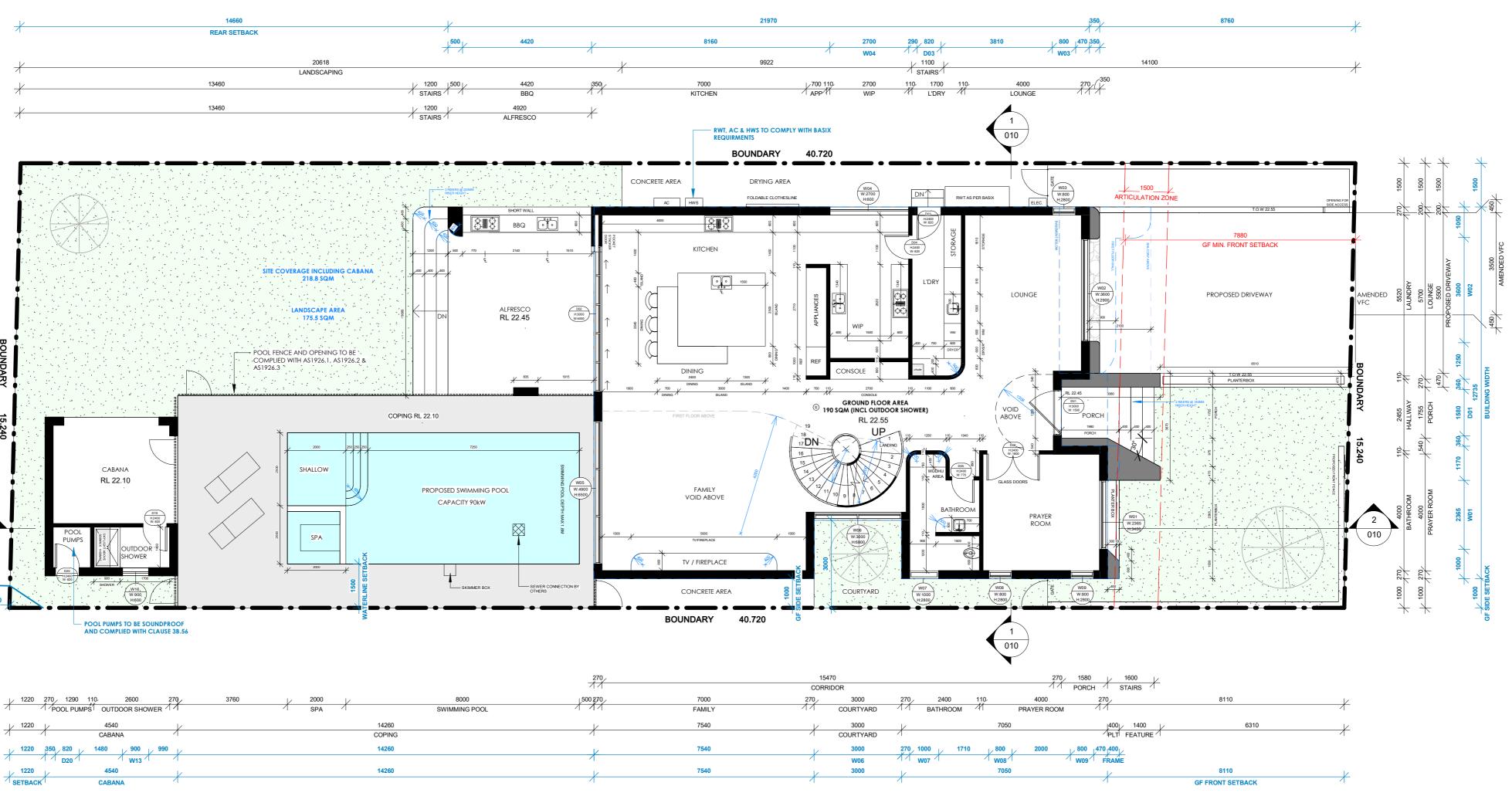




NOTES: - DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS - BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL - SINGLE BRICK WALLS FOR ALL INTERIOR WALLS - CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR - SUSPENDED CONCRETE SLAB FOR FIRST FLOOR - CONCRETE ROOF

			Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025 Revision no.	Project no. 40/2024 Checked by	Client Drawing title	ADAM SALEM
	dezcon					A AS	Scale Drawing no	1 : 100 @ A2
m_0423 908 060 info@dezcon.net www.dezcon.net.au	m_0423 908 060 Approved By A Salameh info@dezcon.net B.Des.Architecture M.Architecture at UTS		COPYRIGHT CLAUSE These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written consent. The information shown on it is regarded as confidential and must not be disclosed to any third party. These drawings must be retuymed upon request.		PROPOSED TWO STOREY DWELLING WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196		Drawing no	004





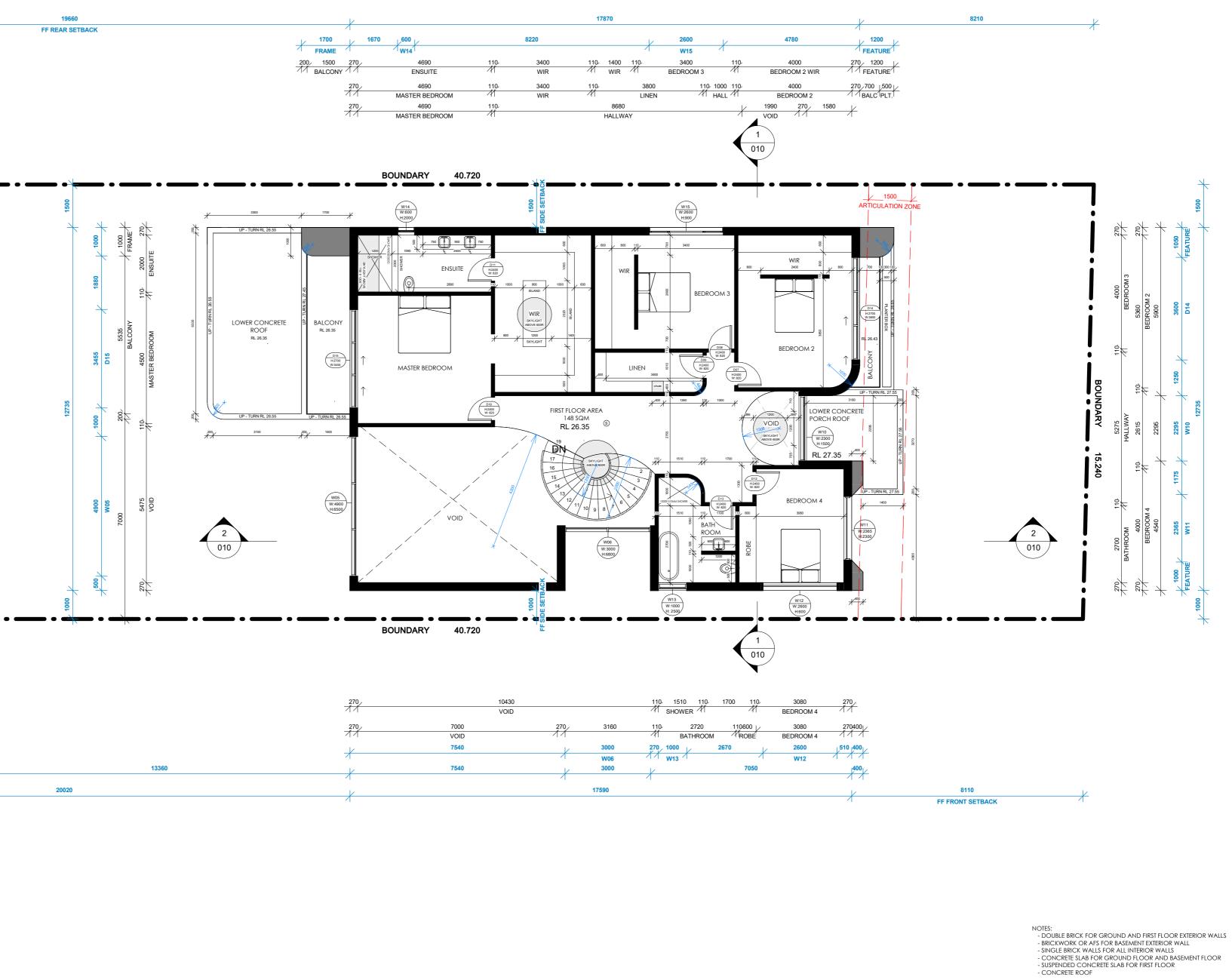


NOTES: - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & AS3786:2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H4D9 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS - BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022 - WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.56 - RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2

NOTES: - DOUBLE BRICK FOR GROUND AND FIRST FLOOR EXTERIOR WALLS - BRICKWORK OR AFS FOR BASEMENT EXTERIOR WALL - SINGLE BRICK WALLS FOR ALL INTERIOR WALLS - CONCRETE SLAB FOR GROUND FLOOR AND BASEMENT FLOOR - SUSPENDED CONCRETE SLAB FOR FIRST FLOOR CONCRETE POOL

- CONCRETE ROOF

			NO.	Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025	Project no. 40/	/2024	Client	ADAM SALEM
1						Revision no.	Checked by	-	Drawing title	GROUND FLOOR PLAN
)		dezcon					Α	AS	Scale	1:100 @ A2
/	m_0423 908 060 Approved By A Salameh info@dezcon.net B.Des.Architecture M.Architecture at UTS	These draw reproduce	d either in part or whole	the property of Amani Salameh and Should not be without written consent. arded as confidential and must not be disclosed to	PROPOSED TWO STOREY DWELLING WITH BASEMENT			Drawing no	005	
	www.dezcon.net.au	BDAA 6523			ust be retuyrned upon request.	19 LANCELOT STR	EET, PUNCHBOWL NSW	2196		000





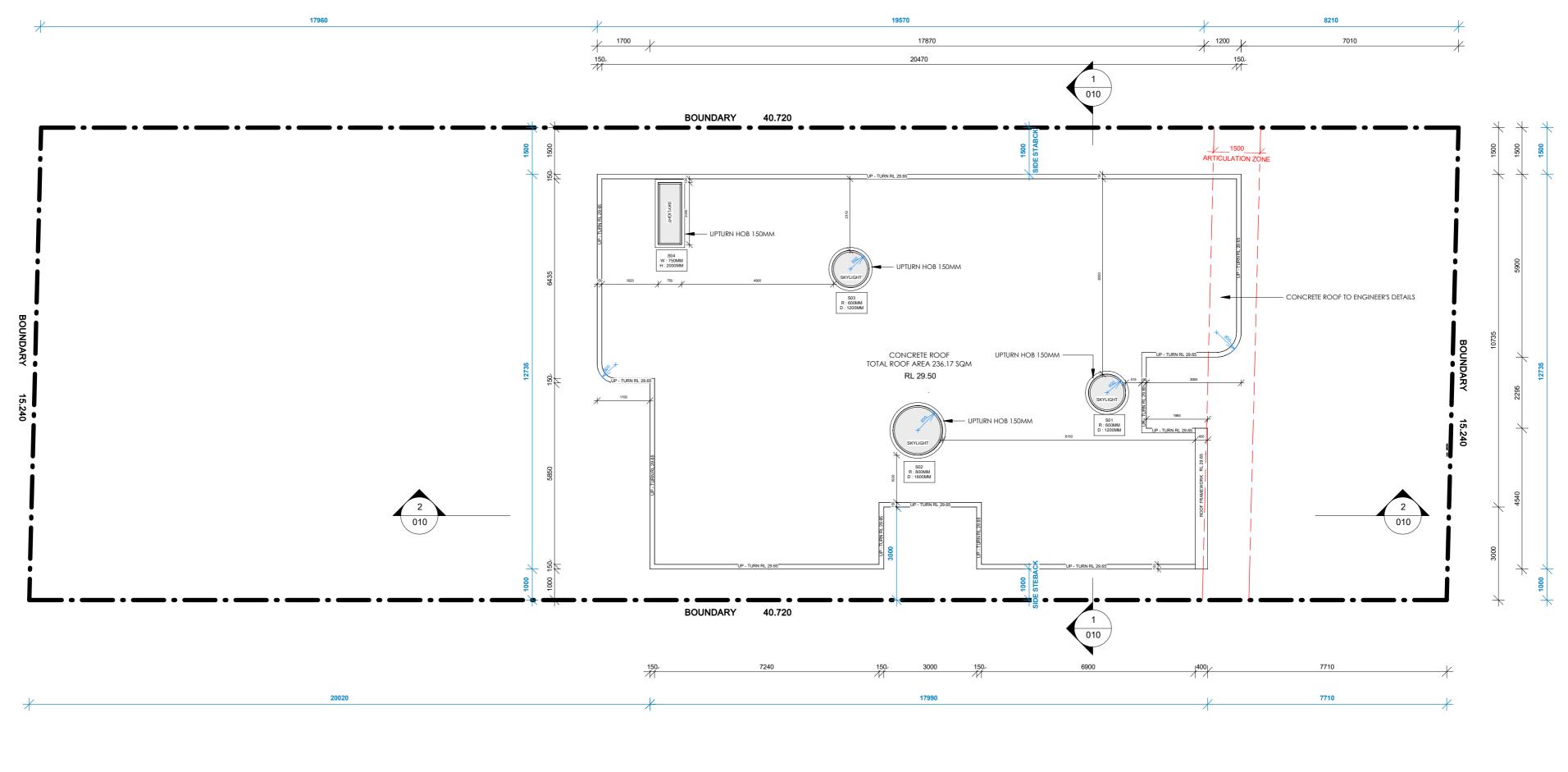


NOTES: - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & AS3786:2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H4D9 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS

HOUSING PROVISIONS - BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022 - WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 3B.56 - RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2

NOTES

		NO.	Date 02/04/2025	Revision	Date 02/04/2025	Project no. 40/20	Client 024	ADAM SALEM
			02/04/2023		Revision no.	Checked by	Drawing title	FIRST FLOOR PLAN
	dezcon					А	AS Scale	1:100 @A2
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www.dezcon.net.au	BDAA 6523			must be retuyrned upon request.	19 LANCELOT STREE	T, PUNCHBOWL NSW 2	96	000

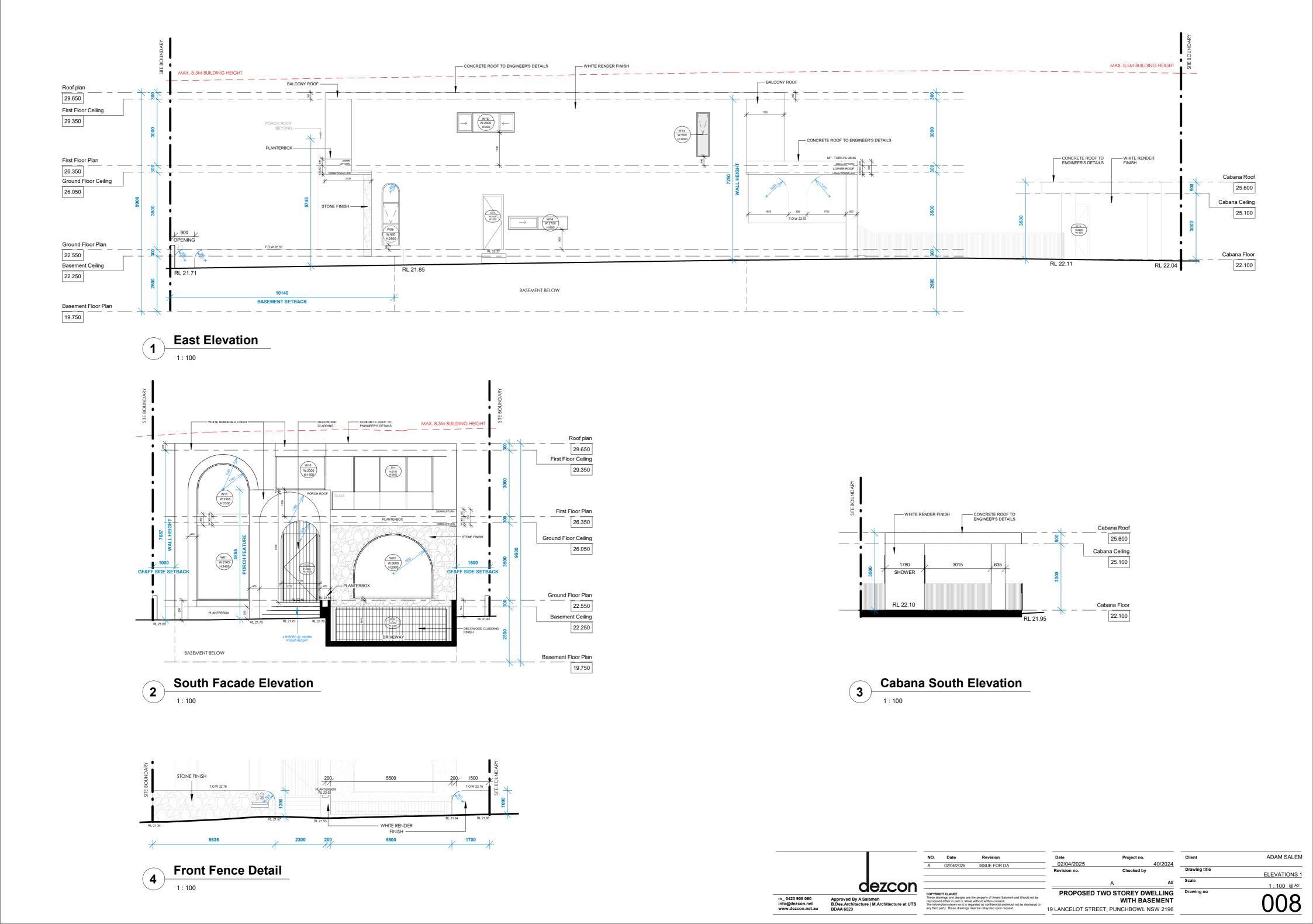


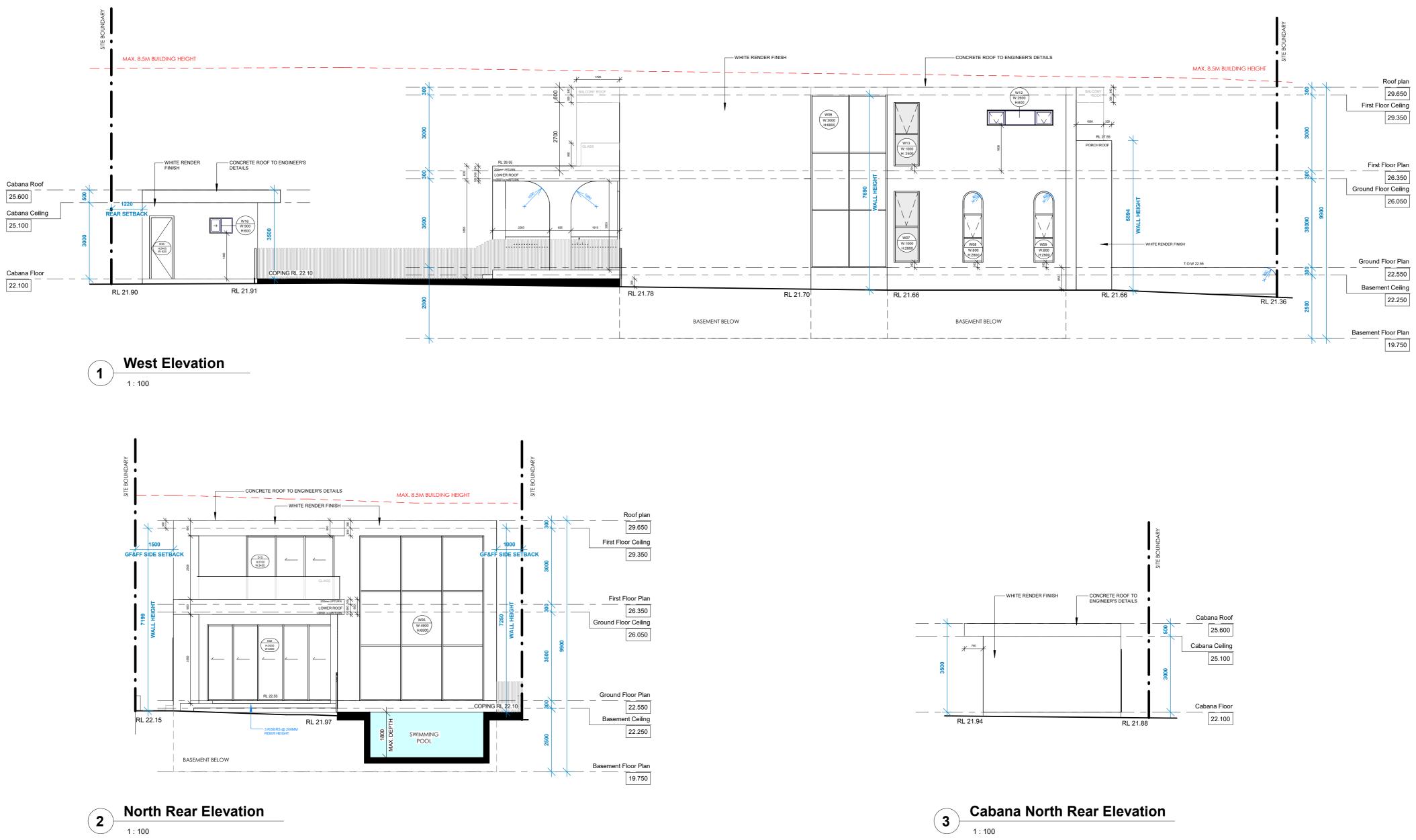


NOTES: - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & A\$3786:2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART HAD9 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR A\$3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS - BALLUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022 - WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, A\$1926.2 & A\$1926.3 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, A\$1926.2 & A\$1926.3 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1 A\$1926.3 & A\$1926.3 - POOL FENCE AND OPENING TO BE COMPLIED WITH CLAUSE 38.56 - RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH A\$4654.1 & A\$4654.2

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		NO.	Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025	Project no.	Client	ADAM SALEM
			02/04/2023	ISSUE FOR DA	Revision no.	Checked by	Drawing title	ROOF PLAN
	dezcon					Α	AS Scale Drawing no	1:100 @ A2
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www.dezcon.net.au	BDAA 6523			ust be retuymed upon request.	19 LANCELOT STREE	T, PUNCHBOWL NSW 2	196	007

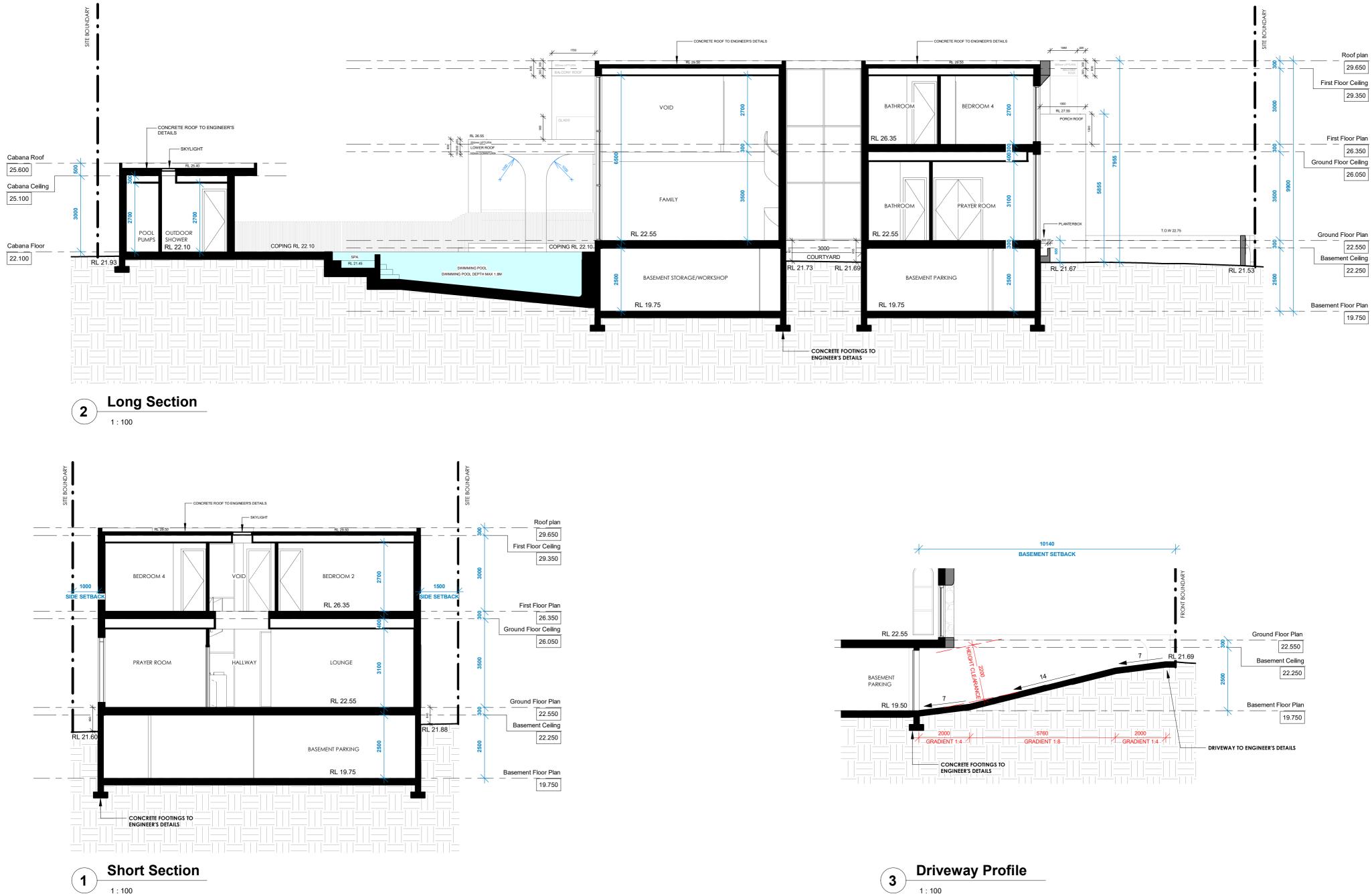


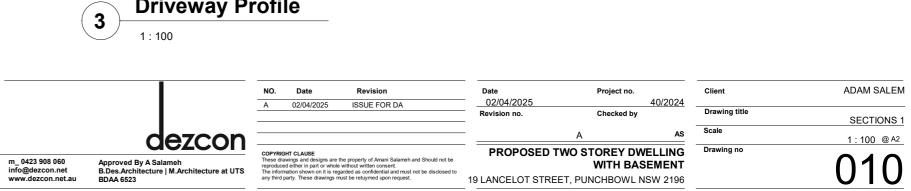


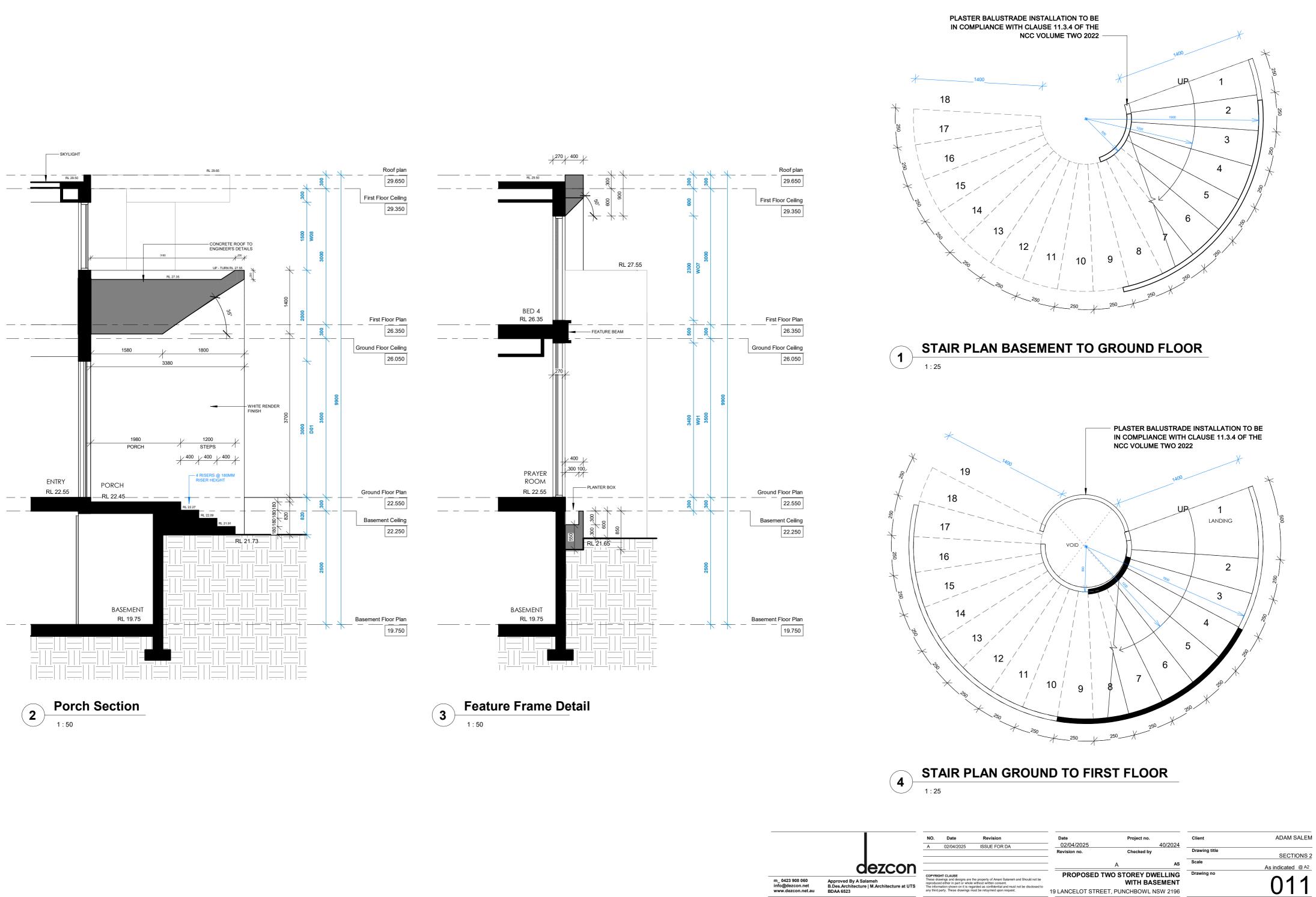


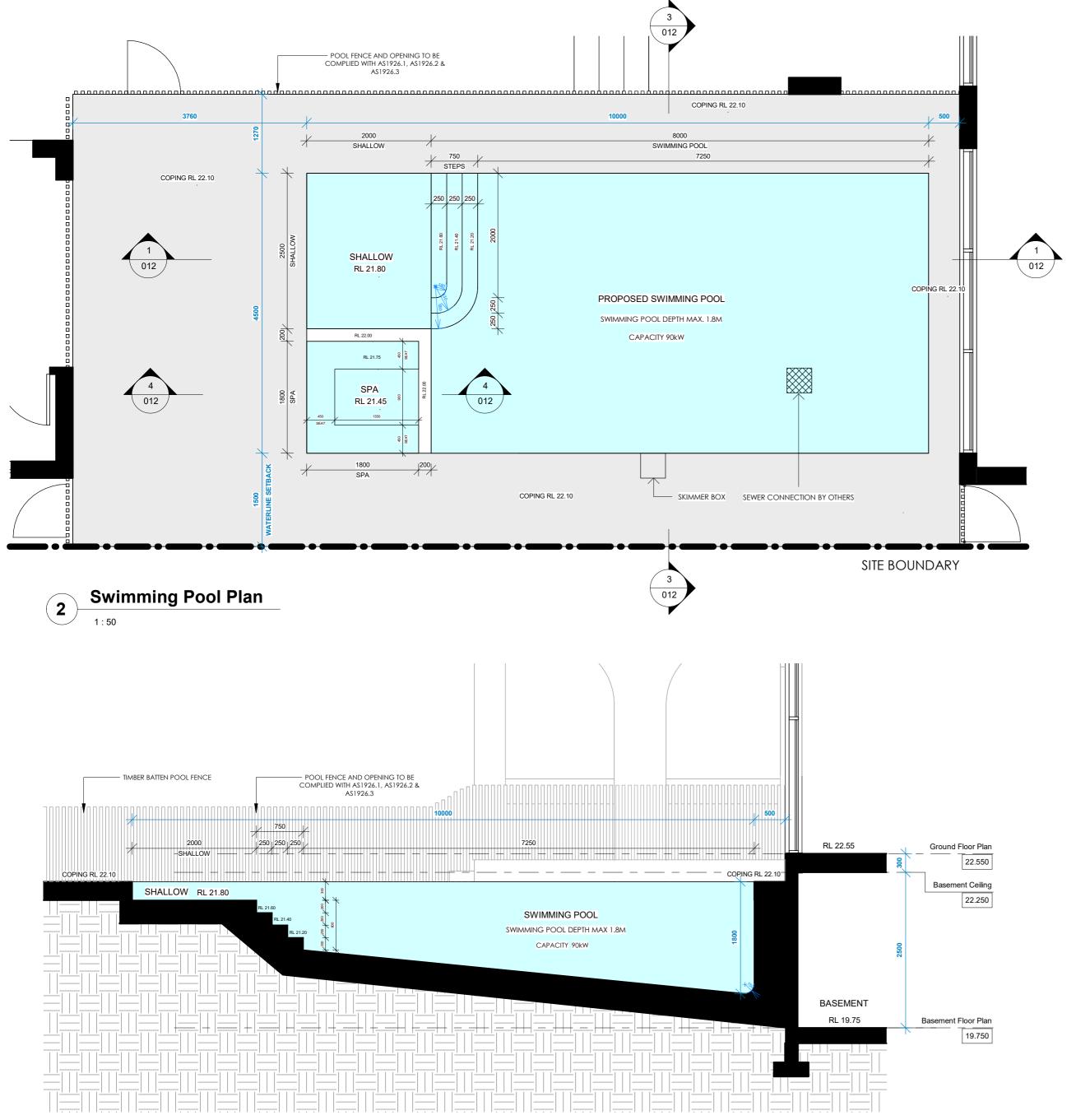
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 02/04/2025
 ADAM SALEM Date 02/04/2025 Revision no. Revision Project no. Client ISSUE FOR DA 40/2024 Drawing title Checked by **ELEVATIONS 2** Scale AS dezcon 1:100 @ A2 Drawing no COPYRIGHT CLAUSE These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written consent. The information shown on it is regarded as confidential and must not be disclosed to any third party. These drawings must be relaymed upon request. PROPOSED TWO STOREY DWELLING Approved By A Salameh B.Des.Architecture | M.Architecture at UTS BDAA 6523 009 m_0423 908 060 info@dezcon.net www.dezcon.net.au WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196



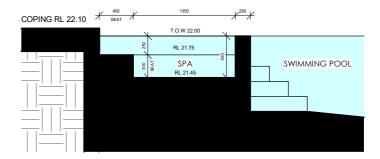




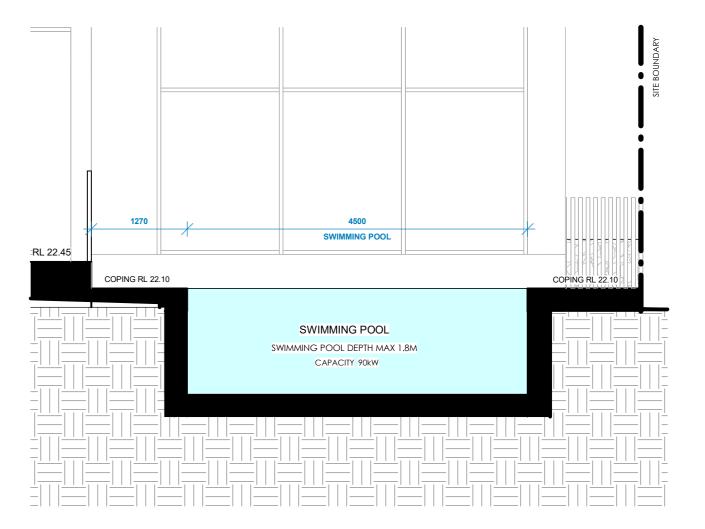


Swimming Pool Section (1)

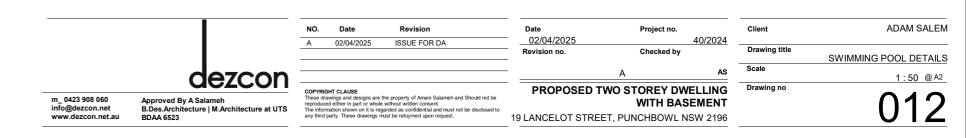
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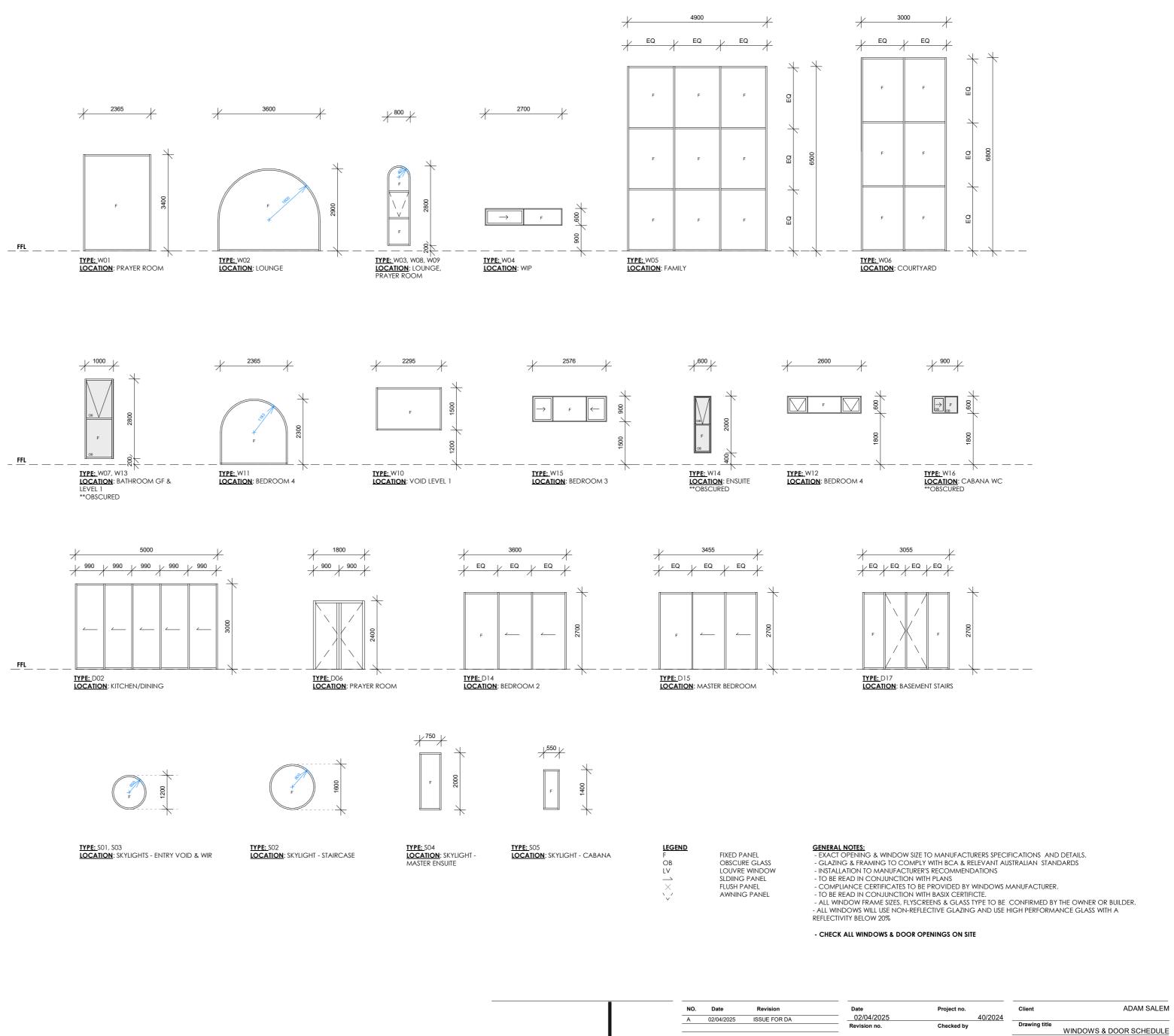


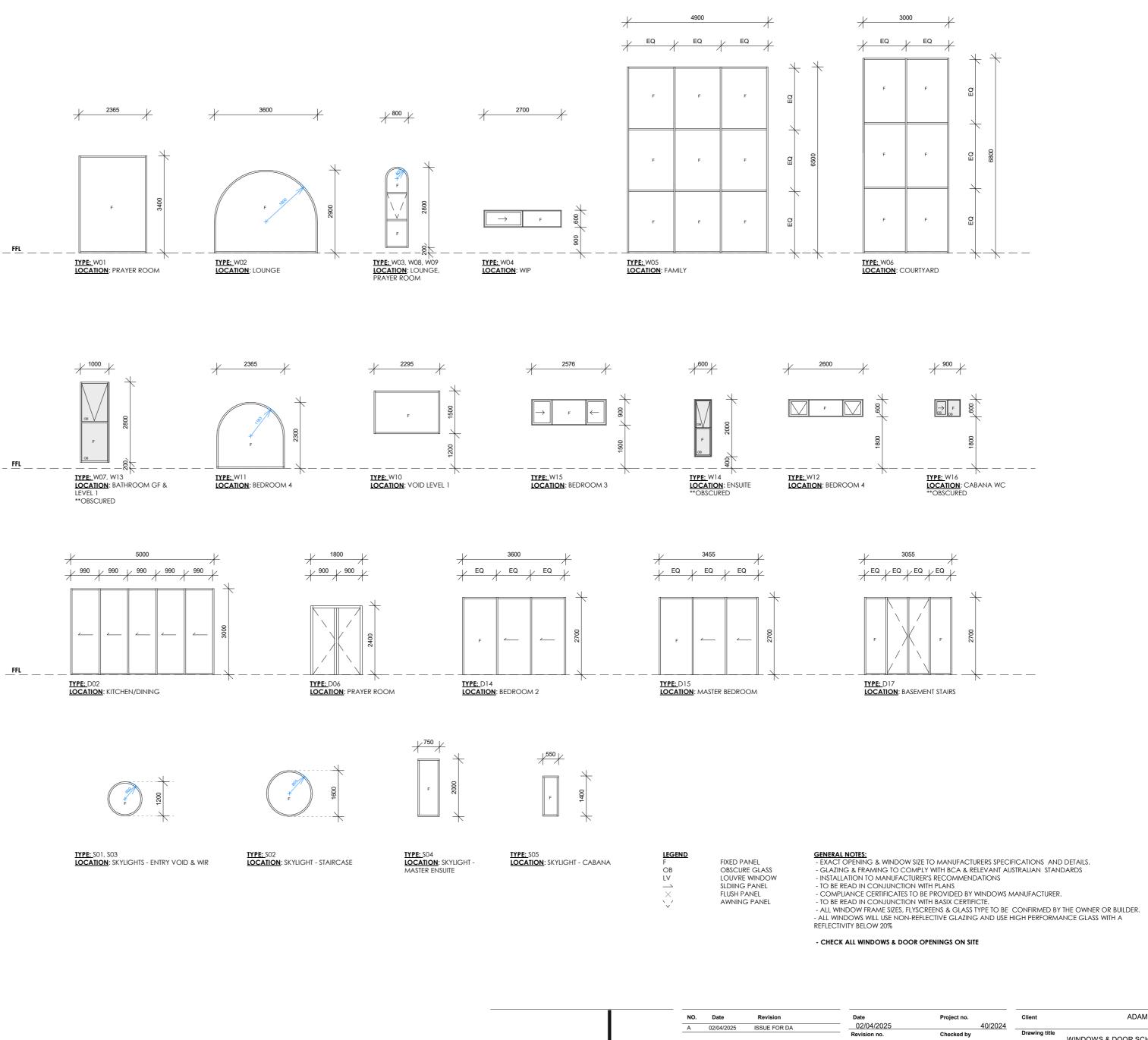


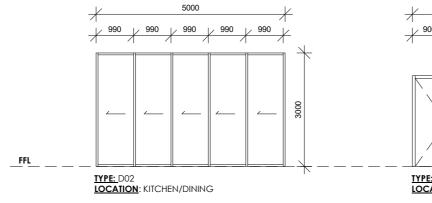


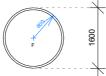
GLAZING SCHEDULE

Window Schedule									
Mark	Width	Height	Sill Height	Comments	Glazing				
SO1	1200	1200	0	Skylight	Clear				
S02	1600	1600	0	Skylight	Clear				
S03	1200	1200	0	Skylight	Clear				
S04	550	1400	0	Skylight	Clear				
S05	750	2000	0	Skylight	Clear				
W01	2365	3400	0	Fixed Window	Clear				
W02	3600	2900	100	Fixed Window	Clear				
W03	800	2800	200	Awning Window	Clear				
W04	2700	600	900	Sliding Window	Clear				
W05	4900	6500	0	Fixed Window	Clear				
W06	3000	6800	300	Fixed Window	Clear				
W07	1000	2800	200	Awning Window	Obscured				
W08	800	2800	200	Awning Window	Clear				
W09	800	2800	200	Awning Window	Clear				
W10	2295	1500	1200	Fixed Window	Clear				
W11	2365	2300	0	Fixed Window	Clear				
W12	2600	600	1800	Double Awning Window	Clear				
W13	1000	2800	200	Awning Window	Obscured				
W14	600	2000	400	Awning Window	Obscured				
W15	2600	900	1500	Double Sliding Window	Clear				
W16	900	600	1800	Sliding Window	Obscured				









			Door Schedule	
Mark	Height	Width	Description	Finish
D01	3000	1500	Pivot Entry Door	Timber Cladding
D02	3000	5000	Five Panel Stacker Door	Glazing Finish
D03	2400	820	Flush Door	Solid Timber
D04	2400	820	Flush Door	Solid Timber
D05	2400	770	Flush Door	Solid Timber
D06	2400	1800	Double Door	Glazing Finish
D07	2400	820	Flush Door	Solid Timber
D08	2400	820	Flush Door	Solid Timber
D09	2400	820	Flush Door	Solid Timber
D10	2400	820	Flush Door	Solid Timber
D11	2400	820	Flush Door	Solid Timber
D12	2400	820	Flush Door	Solid Timber
D13	2400	820	Flush Door	Solid Timber
D14	2700	3600	Three Panel Sliding Door	Glazing Finish
D15	2700	3455	Three Panel Sliding Door	Glazing Finish
D16	2400	820	Flush Door	Solid Timber
D17	2700	3055	Double Door With Sidlights	Glazing Finish
D18	2400	5000	Garage Roller Door	Timber Cladding
D19	2400	820	Flush Door	Solid Timber
D20	2400	820	Flush Door	Solid Timber

Scale AS Drawing no PROPOSED TWO STOREY DWELLING WITH BASEMENT

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19 LANCELOT STREET, PUNCHBOWL NSW 2196

013

1:100 @ A2



SCHEDULE OF FINISHES

SUPPLIER: DECOWOOD NAME: DECOBATTEN SQUARE BATTENS: 40 x 40 MM COLOUR: WHITE ASH

SUPPLIER: DULUX NAME: NATURAL WHITE COLOUR: NATURAL WHITE

Natural White™

SUPPLIER: HAUS COLLECTIVE NAME: CAPRI RANDOM WALL CLADDING





BLACK FRAME

-DRAPING PLANTS FOR PLANTERBOX

- STONE FINISH

BLACK FRAME

-WHITE RENDERED FINISH

-TIMBER DECOWOOD CLADDING FINISH FOR GARAGE DOOR

	NO .	Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025 Revision no.	Project no. Checked by	40/2024	Client Drawing title SCHEDUI F	ADAM SALEM
dezcor						AS	Scale Drawing no	1 : 100 @ A2
m_0423 908 060 Approved By A Salameh info@dezcon.net B.Des.Architecture M.Architecture at UTS www.dezcon.net.au BDAA 6523		COPYRIGHT CLAUSE These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written consent. The information show on it is regarded as confidential and must not be disclosed to any third party. These drawings must be retuymed upon request.		PROPOSED TWO STOREY DWELLING WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196				014

FRONT FACADE



SIDE FACADE



SIDE FACADE

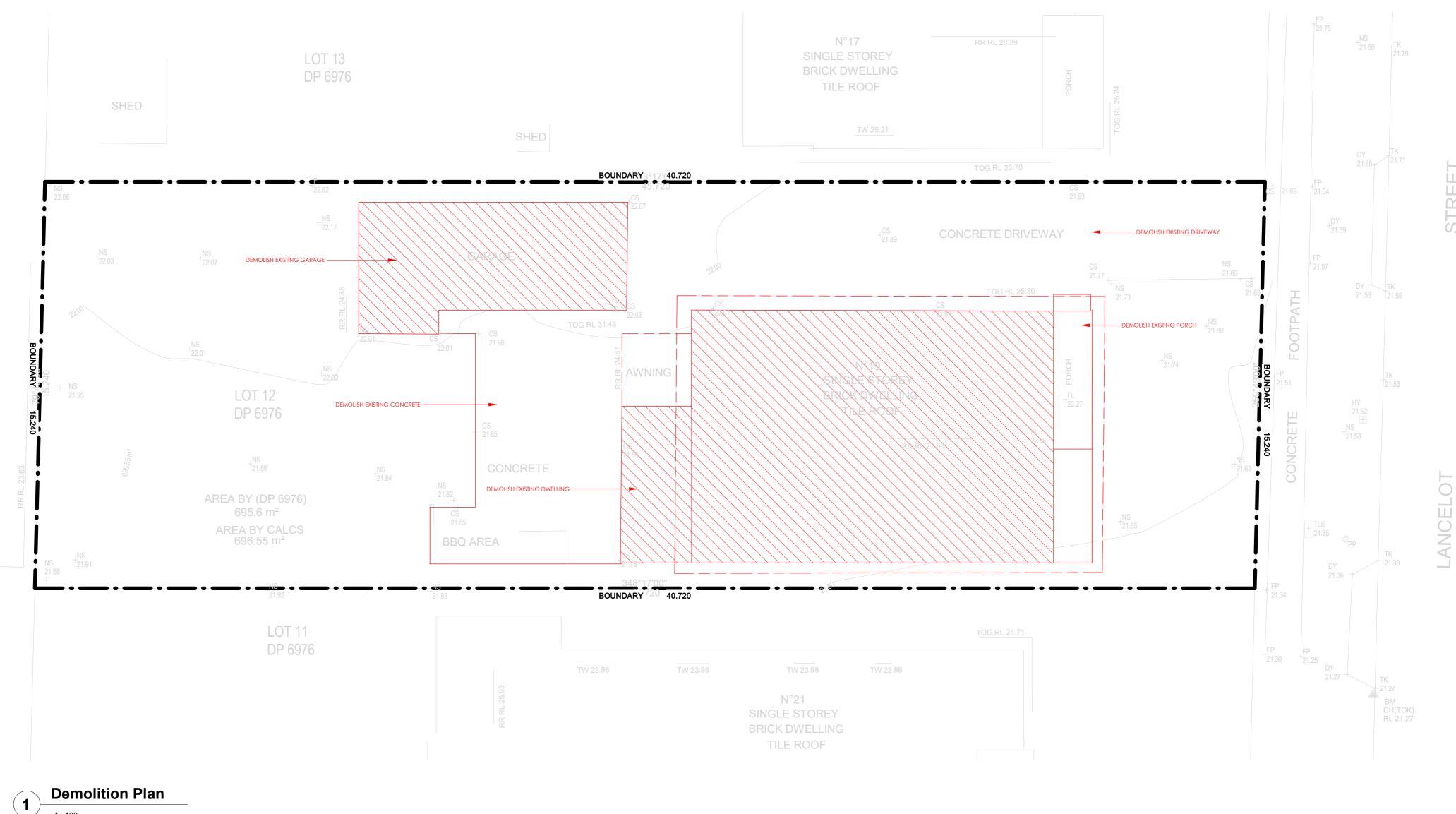




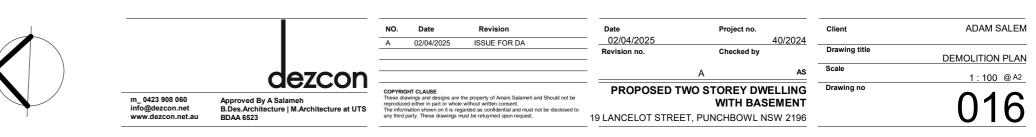
REAR FACADE



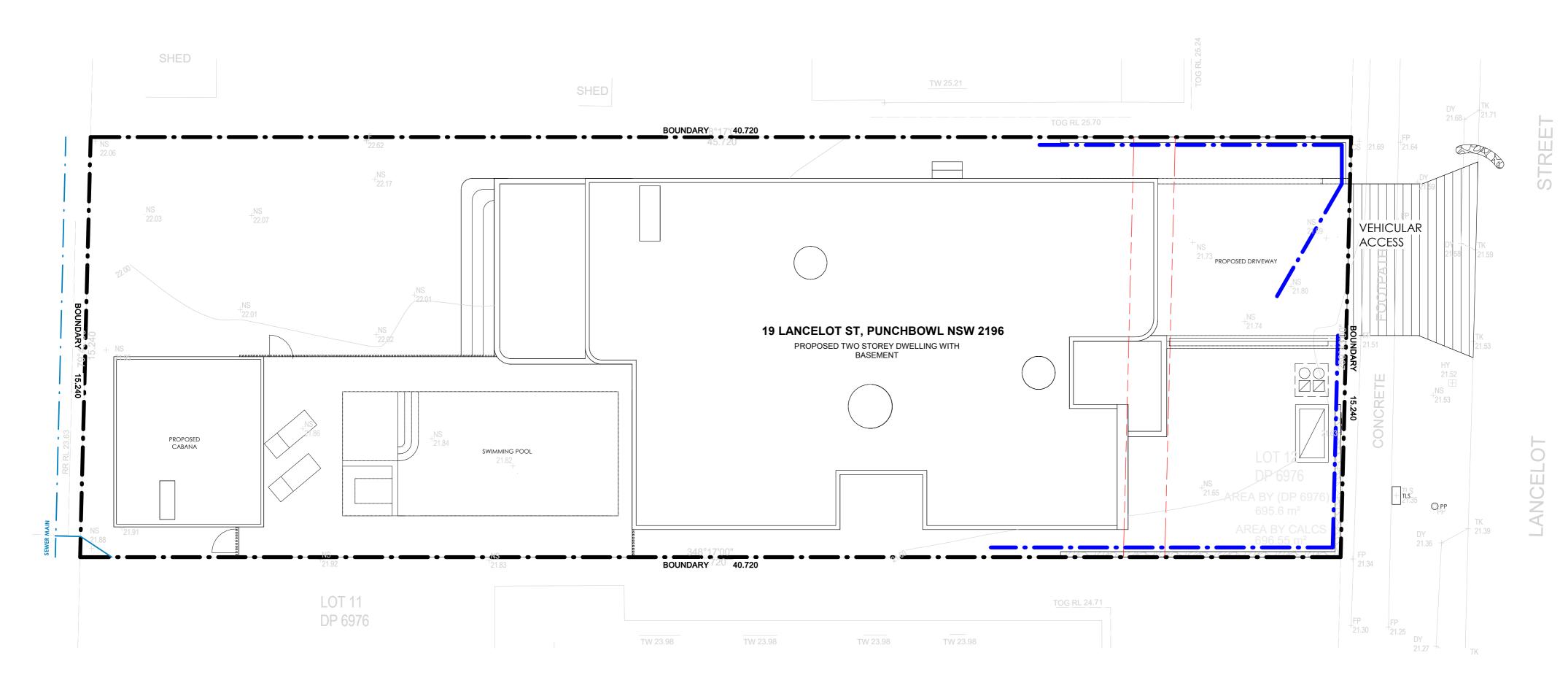
ADAM SALEM	Client Drawing title	40/2024	Project no.		Date 02/04/2025 	Revision ISSUE FOR DA	025	Date 02/04	-	
3D ELEVATION VIEW	Scale	AS	Checked by	А					dezcon	
015	Drawing no	PROPOSED TWO STOREY DWELLING WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196		COPYRIGHT CLAUSE These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written consent. The information shown on it is regarded as confidential and must not be disclosed to any third party. These drawings must be returned upon request.			Approved By A Salameh B.Des.Architecture M.Architecture at UTS	m_ 0423 908 060 info@dezcon.net www.dezcon.net.au		



1:100



STREET





1:100

The sediment controls need to be in place prior to the commencement VEGETATION CONTROL of building works. Remember that the sediment controls will need to be Install the 'no go' areas by fencing off these zones. Place altered as construction occurs and the sites drainage patterns change. red tape or other bright materials around trees and plants DUST MANAGEMENT

Good sediment management can alleviate most of the dust problem. Some of the steps that can be taken to minimise dust include: Maintain as much vegetation as possible Cover materials and stockpiles

Ensure that all equipment has dust suppressors fitted Dampen the site complete erosion protection for a soil that is not stable slightly during excavation or when dust is being raised. Be careful not to due to its structure, texture or excessive slope. Erosion wet it to the point of creating polluted runoff.

Ensure that vehicles only leave via the stabilised site access Minimise the amount of the site that is disturbed at any one time

WASTE MANAGEMENT CONTROL

Skip bins for wastes and recycling should be covered to prevent wind blowing waste off-site but also to prevent rain water from entering and being contaminated by the wastes. Cover the skip any time the site is unattended, over night, at weekends and when it is wet or windy. Provide continuous dust protection for any chutes and conveyors used to load the skip from roof or upper storeys. If skip bins are stored in public areas, notify neighbours and Council inspectors off around the stockpile and a sediment fence 1 to 2 m and ask for their help in stopping illegal use.

to be kept. Ensure staff and subcontractors know not to enter. As you finish earthworks in one part of the site, revegetate it or plant temporary crops like rye to prevent erosion.

Revegetation should not be expected to provide control matting should be used for revegetation areas on excessive slopes to provide interim protection until the vegetation cover can be fully established.

STOCK PILES

Locate stockpile away from stormwater flow paths, roads and hazard areas - ideally at least 5m away. Place on a level area as a low, flat, elongated mound. Where there is sufficient area topsoil stockpiles shall be less than 2m in height.

Construct an earth bank on the upslope side to divert run downslope of the stockpile or sand bag, gravel sausage. Stockpiles should be covered during windy conditions, rain or unattended site periods. Once the roof has been installed on the frame, move stockpiles inside.

WASH BAY

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The wash down area should have sediment controls around it and be large enough to hold all waste water generated. It sould be clearly signposted to alert subcontractors and staff of their responsibilities.

Minimise the amount of waste water generated by: Sweeping excess dirt and mud off equipment prior to washing. With Paint wastes- Spin the rollers and brushes to remove excess paint and return as much as possible to the original container for reuse. For water based paints- wash brushes in small amounts of water over newspaper. This will let the water soak through into the ground and keep the paint residue on the paper. The paper can then be placed in a solid waste bin or taken to a licensed solid waste transfer station. It is illegal to let paint and other liquid wastes contaminate the soil. For oil based paints- wash equipment in a series of solvent baths until clean. The solvent can be reused until it becomes saturated with paint. Solvent should be stored in air tight tins to prevent evaporation and disposed of to a licenced solid waste transfer station. It can not be placed in the bin or on the ground.

dezcon

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NO. Date

A 02/04/2025

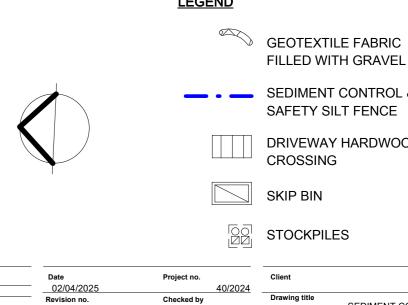
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Revision

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ISSUE FOR DA

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LEGEND

FILLED WITH GRAVEL **___** SEDIMENT CONTROL & SAFETY SILT FENCE DRIVEWAY HARDWOOD

CROSSING

SKIP BIN

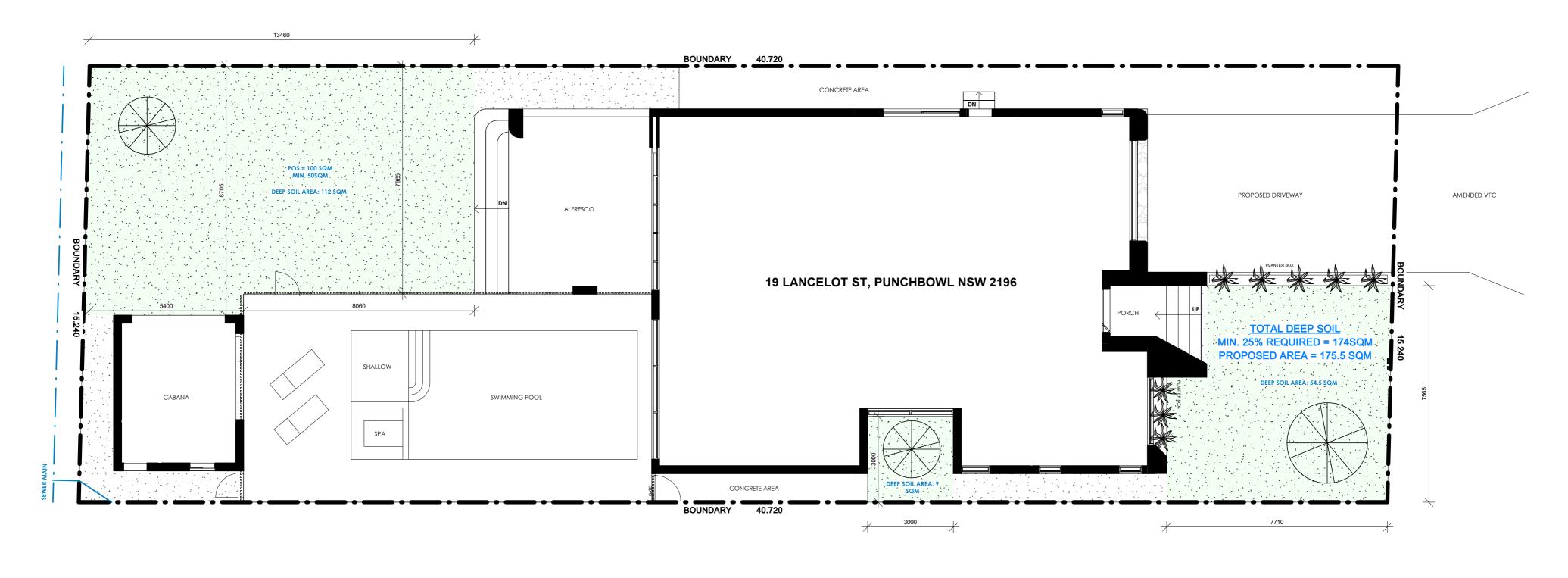
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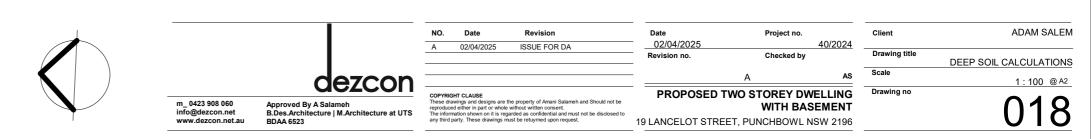
STOCKPILES

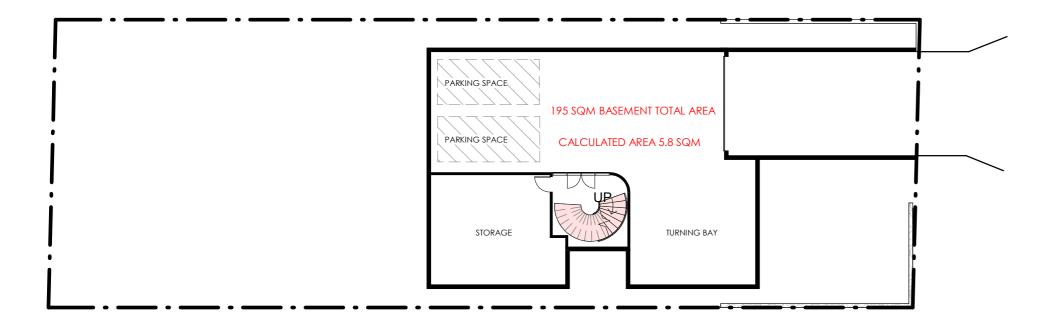
ADAM SALEM SEDIMENT CONTROL PLAN As indicated @ A2 017

Drawing no PROPOSED TWO STOREY DWELLING WITH BASEMENT 19 LANCELOT STREET, PUNCHBOWL NSW 2196

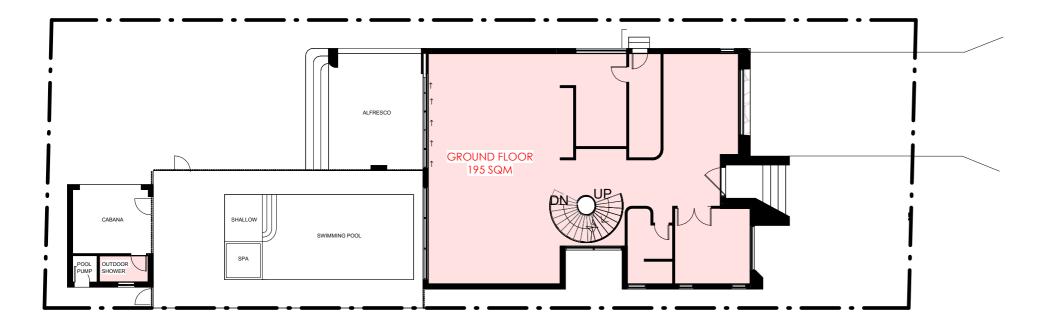


1 Deep Soil Plan

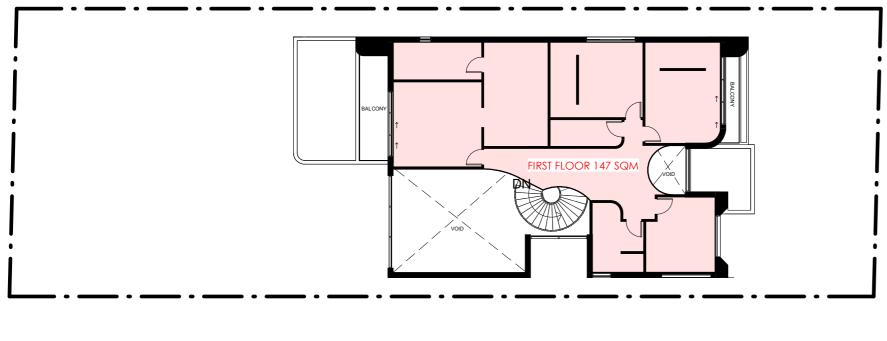








Ground Floor GFA 2 1 : 200



1 First Floor GFA

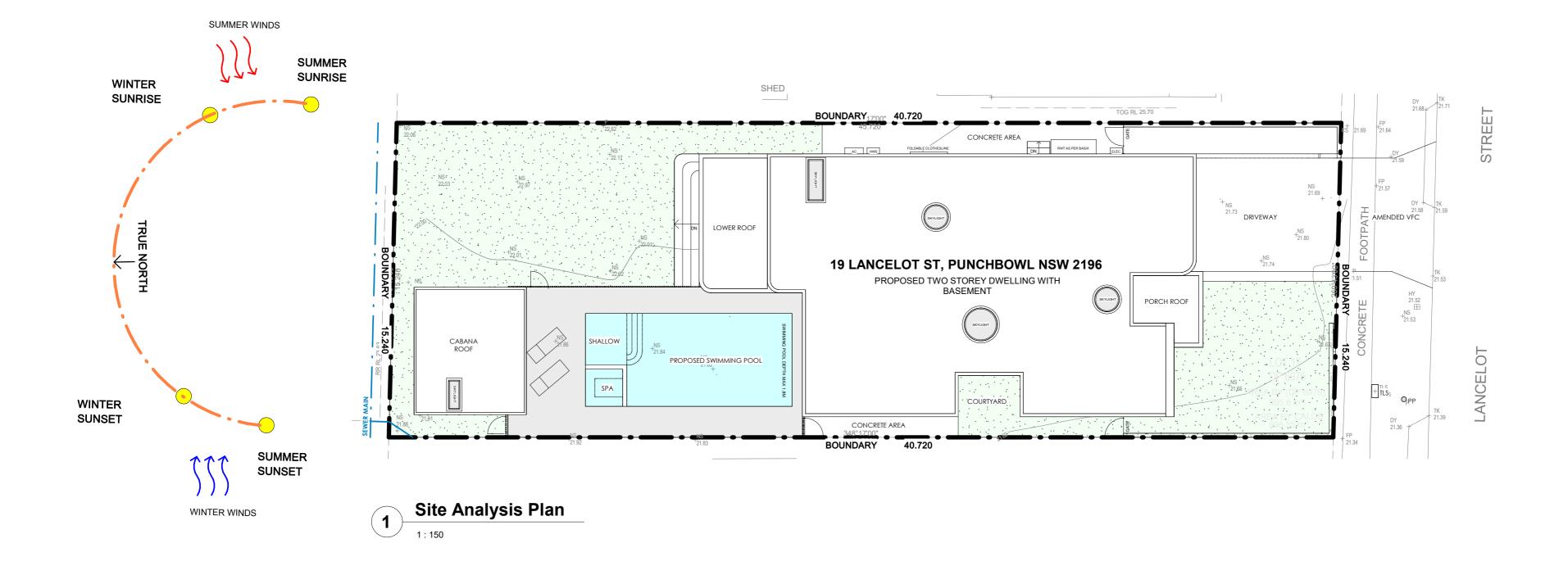
FLOOR SPACE RATIO:

ALLOWED FSR: 0.5 : 1 = 347.8 SQM

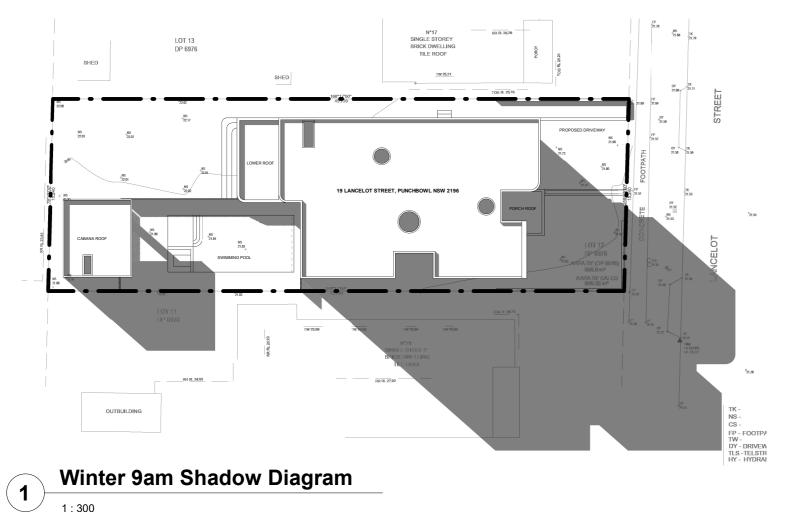
<u>LOT 01:</u>

TOTAL FSR	347.8 SQM
FIRST FLOOR	147 SQM
GROUND FLOOR	195 SQM
CALCULATED BASEMENT	5.8 SQM
BASEMENT AREA	195 SQM

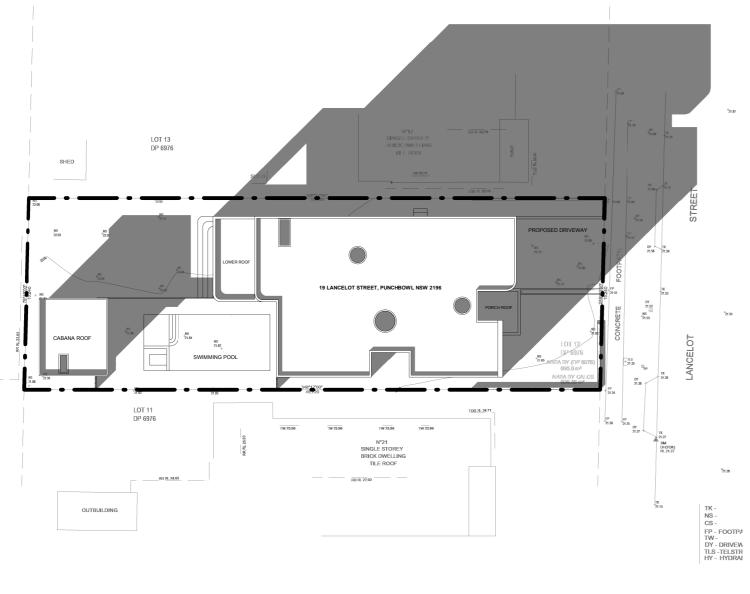
		NO.	Date 02/04/2025	Revision	Date 02/04/2025	Project no.	40/2024	Client	ADAM SALEM
	dezcon				Revision no.	Checked by	AS	Drawing title Scale	FSR CALCULATIONS
m_ 0423 908 060 info@dezcon.net www.dezcon.net.au	Approved By A Salameh B.Des.Architecture M.Architecture at UTS BDAA 6523	These dra reproduce The inform	ed either in part or whol mation shown on it is re	the property of Amani Salameh and Should not be le without written consent. garded as confidential and must not be disclosed to must be retuymed upon request.	PROPOSED T	WO STOREY DW WITH BA	SEMENT	Drawing no	019



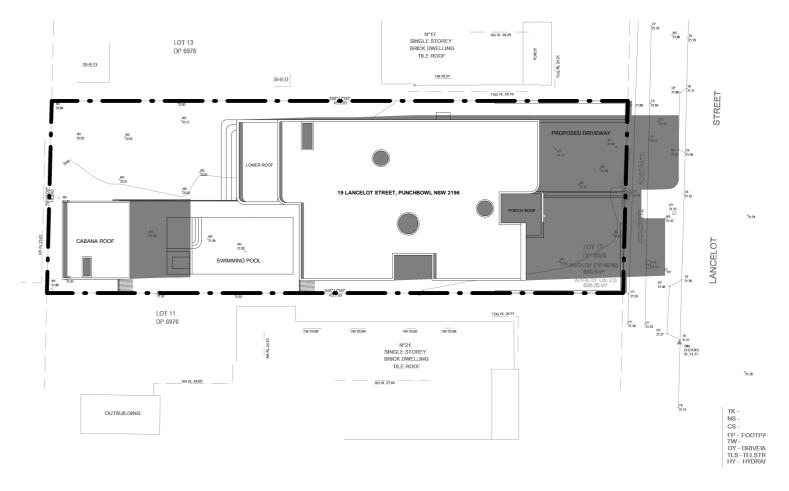
		NO. A	Date 02/04/2025	Revision ISSUE FOR DA	Date 02/04/2025 Revision no.	Project no. Checked by	40/2024	Client Drawing title	ADAM SALEM
	dezcon							Scale Drawing no	As indicated @ A2
m_ 0423 908 060 info@dezcon.net www.dezcon.net.au	Approved By A Salameh B.Des.Architecture M.Architecture at UTS BDAA 6523	These draw reproduced The information	d either in part or whole ation shown on it is reg	he property of Amani Salameh and Should not be without written consent. arded as confidential and must not be disclosed to ust be retuyrned upon request.	19 LANCELOT STREE	WITH BAS	SEMENT		020



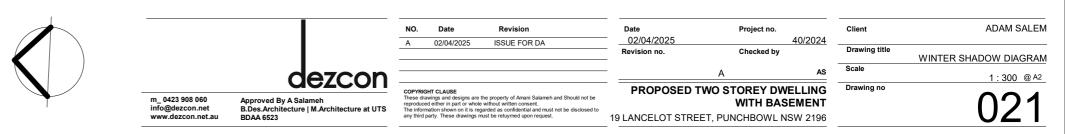


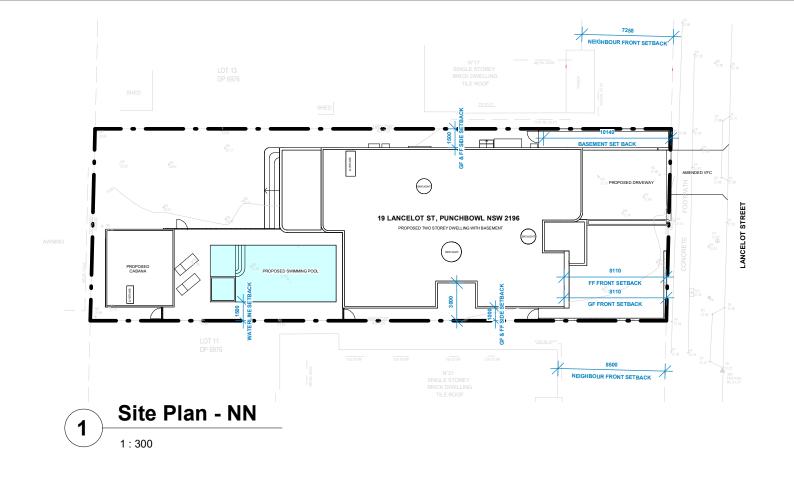




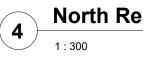


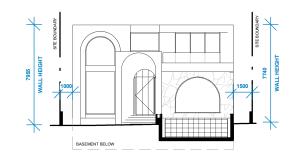


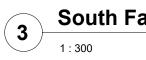


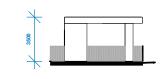






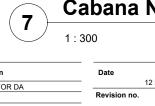








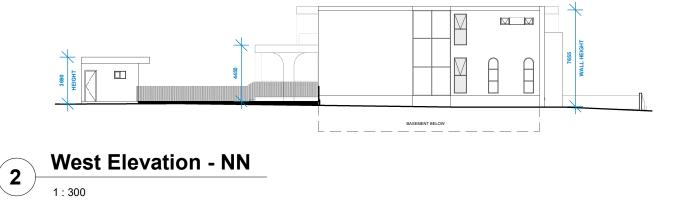


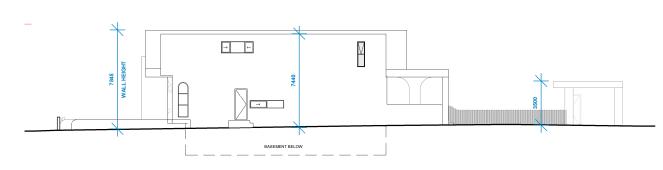


PPOPOS

PROPOS

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North Rear Elevation - NN

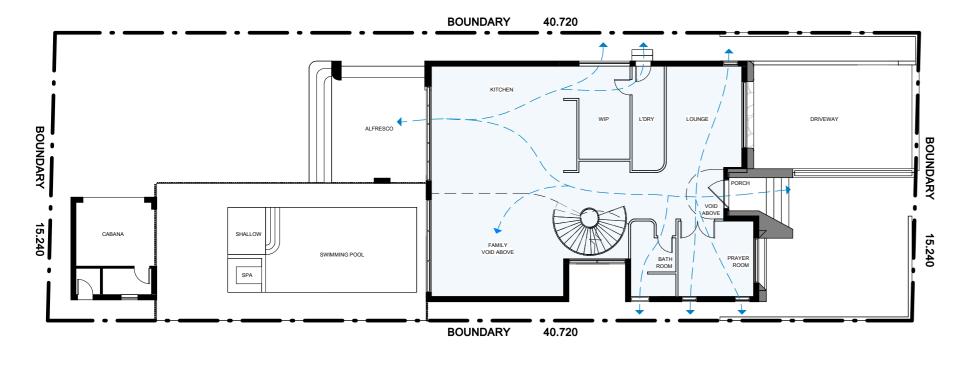
South Facade Elevation - NN

Cabana South Elevation - NN

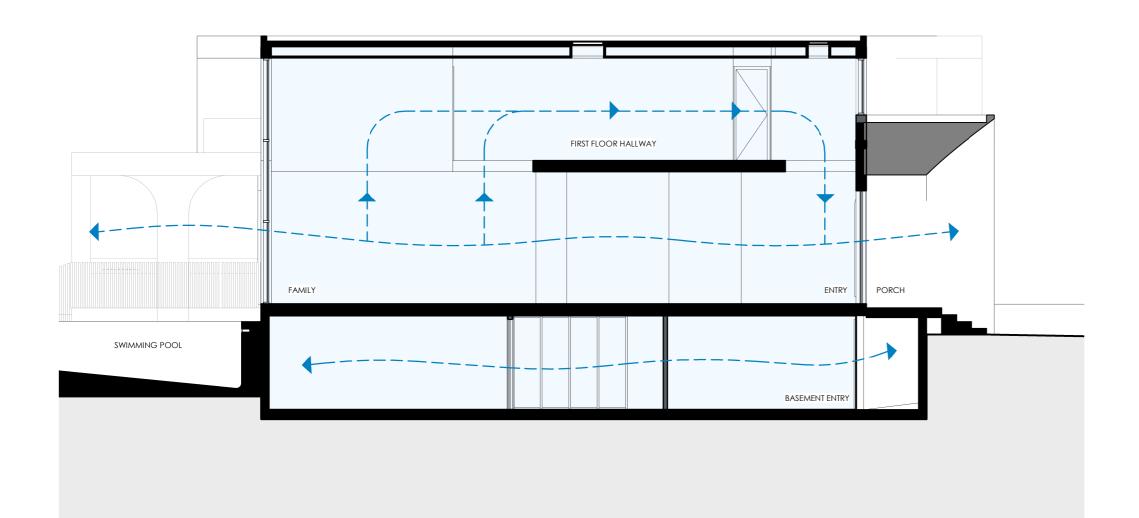


Cabana North Rear Elevation - NN

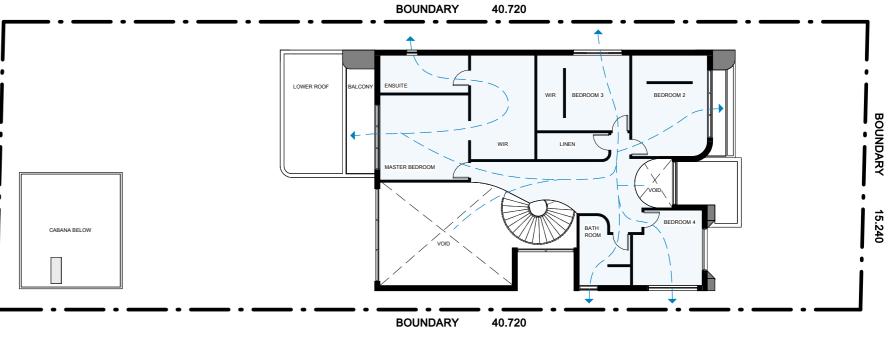
ADAM SALEM	Client		Project no.
		40/2024	12 MARCH 2025
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		NSW 2196	STREET, PUNCHBOWL N



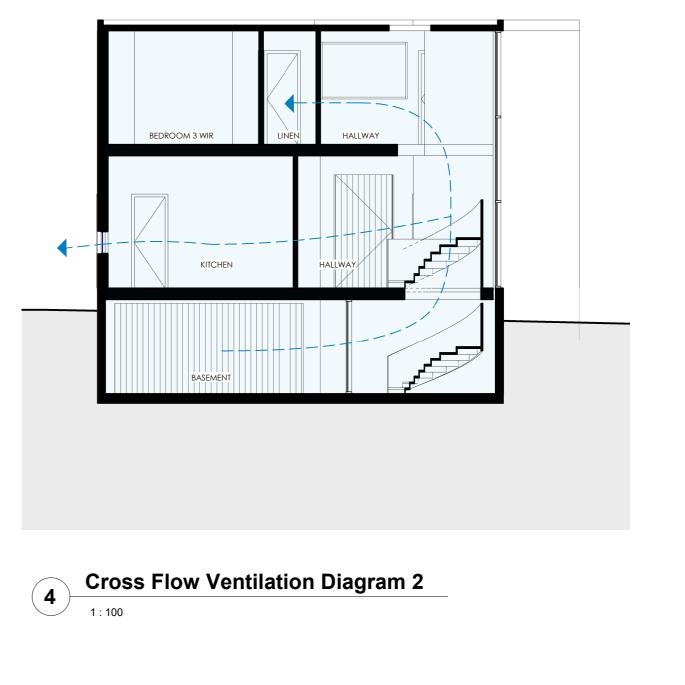


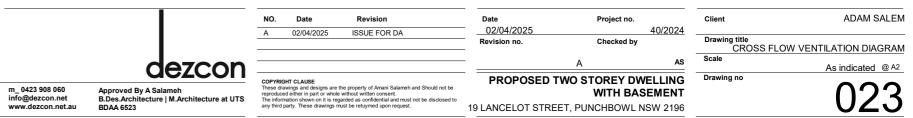


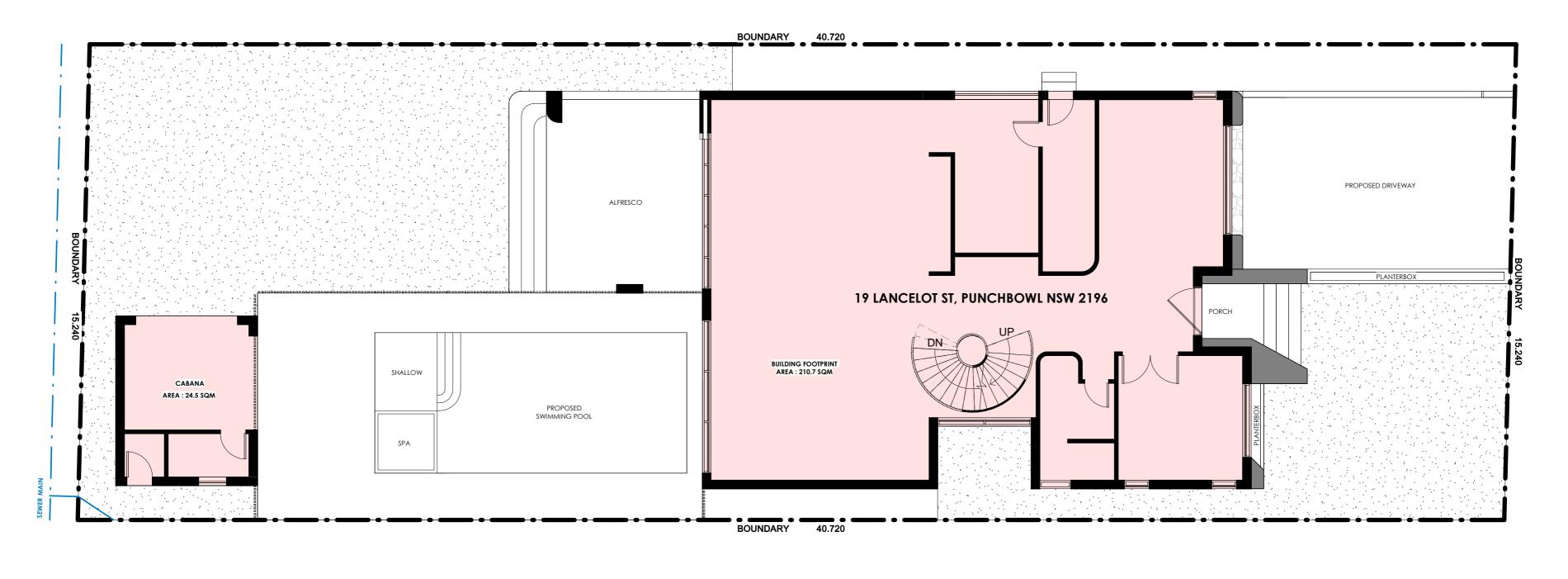
















MAX. SITE COVERAGE 40% =278.62 SQMPROPOSED SITE COVERAGE =235.3 SQM

NO. Date Revision Date P	Project no.	Client	ADAM SALEM
A 02/04/2025 ISSUE FOR DA 02/04/2025	40/2024	Drawing title	
Revision no. C	Checked by	Drawing title	BUILDING FOOTPRINT PLAN
	AS	Scale	1:100 @ A2
COPYRIGHT CLAUSE PROPOSED TWO STO	DREY DWELLING	Drawing no	
m_0423 908 060 Approved By A Salameh info@dezcon.net B_Des_Architecture I M_Architecture at UTS These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written corsent. These drawings and designs are the property of Amani Salameh and Should not be reproduced either in part or whole without written corsent. The information shown on it is reparred as confidential and must not be disclosed to	VITH BASEMENT		021
info@dezcon.net B.Des.Architecture M.Architecture at UTS www.dezcon.net.au BDAA 6523 The information shown on it is regarded as confidential and must not be disclosed to any third party. These drawings must be retuymed upon request. 19 LANCELOT STREET, PUNC	CHBOWL NSW 2196		024